

Inspection Report

Provided by:



Claro Home Inspections LLC

Inspector: Eduardo Balsells

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Property Address:

6519 Denver Ave, Los Angeles, CA 90044

Three units inspection,
Duplex Front Units 1 - 2 rpts



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1 Report Information

Name, Phone Number and Email

Client's Information Paulo Villanueva, 310-774-6221, paulvillanueva721@gmail.com

Buyer's Agent Information Saray Tapia, 626-251-0570, Saray@californiahomeseller.com

Seller's Agent Information Edwin Blanco DRE #02054714 323-695-1868

Property Information

Approximate Square Footage 1600 ft.²

Approximate Year Built 1923

Number of Bedrooms Unit A Two bedrooms
Unit B Two bedrooms

Number of Baths Unit A Single bathroom
Unit B Single bathroom

Garage Description None

Lot Description The home sits on a level lot. The driveway slopes to street level.

Building Type Duplex - Single building, single-story.

Special Notes [The home was occupied on the day of inspection. Thus making it difficult to visually inspect all of the areas and services for defects and deficiencies.](#)

General information presented herein is based on publicly available data obtained from general internet listings as of that date of the inspection.

In regards to the coronavirus. Client should note that this inspection does not address for the presence of this or any other viruses. There is currently no vaccine to prevent the coronavirus (COVID-19). The best way to prevent illness is to avoid being exposed to this virus. For more information about the coronavirus, please visit the Centers for Disease Control (CDC) website. <https://www.cdc.gov/coronavirus/2019-ncov/index.html>

[Given the age of the residence, asbestos and lead-based paint could be present. In fact, any residence built before 1978 should not be assumed to be free from these and other well-known contaminants. It should be noted that inspection of asbestos and or lead-based paints is not performed as part of our services. It is recommended client do his own diligence and perform all needed additional tests and or inspections.](#)

[Client should note that while some items were noted as functional.](#)

Significant deferred maintenance may be present and not noted due to the present conditions of the home. While the item was noted as to be functional. Client should consider the cost of general cleaning and or maintenance required to bring the item to what is considered normal condition.

Client should note that a number of new regulations for 2017 such as new requirements for water saving plumbing fixtures were not a part of this inspection. Client to do his own diligence and request more information from home owners.

1. All water closets (toilets) shall be no more than 1.28 gpf.
2. All lavatory (bathroom sink) faucets shall be no more than 1.2 gpm.
3. All kitchen sink faucets shall be no more than 1.8 gpm.
4. All shower heads/spray wands shall be no more than 2.0 gpm.

Area (s) of the home appeared to be additions, alterations and or improvements to the original home structure. It is recommended client do his own diligence and request. All required additional permits. Area was observed for the client as a courtesy. However. It was not a part of the home inspection.

Client should note that. Boundary lines and setbacks are not assessed during a standard home inspection. For concerns regarding property lines or setback compliance, it is recommended client consult a licensed surveyor and or land use attorney.

Pets were or appeared to have been present at the interior of the home. Client should note that assessment of environmental or pet related pollutants / allergens are not a part of the basic home inspection.

Excessive amounts of personal items, trash and or debris were accumulated throughout the interior and exterior of the home. Thus making it difficult to visually inspect the areas and services for defects and deficiencies. Furniture and personal items are not disturbed during this visual inspection. Client should note that hoarding of this nature may lead to pests infestations and or unhealthy conditions that were not visible or accessible at the time of inspection. Also conditions may change between the time of inspection and closing. Due to these conditions. Obstructed, not functional, not available /or inspected areas and or appliances. Should be carefully checked and or inspected during final walk through.

Inspection Information

Inspection Date	Sunday, March 1, 2026, 8 AM
Inspection Time	8:00 AM
Weather Conditions	Clear and dry.
Outside Temperature	From the high 60s to the high 70s
Re-Inspection	Re-inspection fee. 3 systems or less 1/2 of the Inspection fee. Over 3 systems full fee.

Disclaimer
Home Inspection Services

WITHIN THE SCOPE OF THE INSPECTION

· The scope of this inspection and report is limited to a visual inspection of the systems and components as listed below, in order to identify those, if any, which may need replacement and or repair.

· We are not code enforcement officers. The purpose of the home inspection is not to determine building code violations. These violations can only be determined by a city building official. Please consult your local building department to satisfy any code violation and or any building permit concerns prior to the close of escrow.

Exterior:

Landscaping affecting the structure, Property Walls and Fencing, Gutters, Downspouts, Sidewalks and Driveways, Roof, Exterior Chimney Components, Flashing, and Valleys, (for evidence of water penetration) Siding, Fascia, Soffit, Walls, Windows, Doors, Foundation, Attached Porches/ Decks/ Balconies/ Patios/ Garages.

Interior:

Plumbing System: Water Supply/Drains/Vents/Water Heaters/Fixtures, and Locating of Shut Off Valves; Electrical System: Service Drop, Service Panel, GFCI Plugs, Switches, Receptacles, Installed Fixtures, and Smoke Detectors; Heating/Cooling System: Permanent Systems, Operating Controls/Filters/Ducts, Insulation, Vapor Barrier, and Ventilation; Bathrooms/Kitchen/Other Rooms: Doors/Windows/Walls/Floors (as to general condition), Cabinets, Counter tops, and Installed Fixtures; Structure: Ceilings/Walls/Floors, Stairs/Basements/Attic/Crawl Spaces (if readily accessible)(as to evidence of water damage and general condition.)

- The scope of the inspection is limited to the description and the general condition of the above

systems.

OUTSIDE THE SCOPE OF THE INSPECTION

- Any area which is not exposed to view or is inaccessible because of soil, walls, floors, carpets, ceilings, furnishings, lack of access or crawl spaces or any solar systems whether it be the electrical, water or heating. The inspector is not required to report on systems that could not be tested due to lack of connected utilities such as water, gas and electric.
 - The inspection does not include any destructive testing or dismantling. Client agrees to assume all the risk for all conditions which are concealed from view at the time of the inspection. This is not a home warranty, guarantee, insurance policy, or substitute for real estate disclosures which may be required by law. Whether or not they are concealed, the following are outside the scope of the inspection;
 - Building code or zoning ordinance violations - Thermostatic or time clock controls or Low Voltage wiring systems - Geological stability or soils conditions - Water softener or water purifier systems or solar heating systems - Structural stability or engineering analysis - Saunas, steam baths, or fixtures and equipment - Building value appraisal or cost estimates - Leaking pools or spa bodies or sprinkler systems and underground piping - Radio-controlled devices, automatic gates, elevators, lifts, and dumbwaiters - Furnace heat exchanger, freestanding appliances, security alarms or personal property - Specific components noted as being excluded on the individual system inspection form - Adequacy or efficiency of any system or component - Prediction of life expectancy of any item.
- Inspection does not include investigation of mold, asbestos, lead paint, water, soil, air quality or other environmental issues.

The Inspector is a home inspection generalist and is not acting as an engineer or an expert contractor in any craft or trade. If the Inspector recommends consulting other specialized experts, Clients should do so at Client's expense and prior to the close of escrow.

CONFIDENTIAL REPORT

- The written report to be prepared by the Inspector shall be considered the final and exclusive findings of the Inspector/Inspection Company regarding the home inspection at the Inspection Address. The inspection report to be prepared for the Client is solely and exclusively for the Client's own information and may not be relied upon by any other person. **Client agrees to maintain the confidentiality of the inspection report and agrees not to disclose any part of it to any other person with the exception of the seller and/or the real estate agents directly involved in this transaction.** Client(s) or the inspector may distribute copies of the inspection report to the seller and real estate agents directly involved in this transaction, but neither the seller nor the real estate agent are intended beneficiaries of this Agreement or the inspection report. Client agrees to indemnify, defend, and hold the Inspector/inspection Company harmless from any third party claims arising out of the Client's or Inspectors distribution of the inspection report.

DISPUTES

- Client understands and agrees that the Inspector/Inspection Company is not an insurer. There are no warranties express or implied, that the price paid for the subject inspection and report is based solely on the service provided. Client also agrees that any claim of failure in the accuracy of the report shall be reported to the Inspector/Inspection Company within five business days of discovery and that failure to notify the inspector within that time period shall constitute a waiver of any and all claims. The Inspector/Inspection Company shall have five business days to respond to the claim. The Inspector/Inspection Company shall not be held responsible for additional findings uncovered by third-party individuals such as engineers and specialty contractors as they are considered specialist in a given field and may have additional knowledge or insight to produce additional

findings.

If the Inspector/Inspection Company fails to satisfy the claim.

- Liability shall be limited to a refund of the price paid for the Inspection.
- Minus direct expenses for gas, travel time and any prepaid mold testing.

Definition of Conditions

Fnc = Functional: The item appeared to be functional/serviceable and in/or working and/or satisfactory condition with no significant signs of discrepancies noted at the time.

Rep = Repair or Replace: The item was at / or near the end of its useful lifespan. A certified licensed professional should be contacted for further evaluation, repair and or cost of replacement.

STY = Safety Issue: The item is considered a health and/or safety hazard and can/or may cause harm to people or property. These items should be repaired as soon as possible.

Mtc = Maintenance Needed: Maintenance items may be considered functional, but suffering from deferred maintenance. These items should or may be consider a part of the basic home maintenance plan.

NI = Not Inspected / Not Installed: The item was not inspected, installed or visibly available during the inspection.

Invoice

Home Inspection Services
Inspection Invoice

Invoice #: Villanueva 6519 Denver Ave, Los Angeles

Date: Sunday, March 1, 2026, 8 AM

Payment :

Services Fee of:

Main Home: \$450.00

Duplex: \$200.00

Separate ADU: \$295.00

Subtotal Total: \$945.00

Additional Sewer Inspection: \$199

Amount Paid: \$945

Amount Due: \$199

Scope of Work:

1. Provide a complete visual inspection of the home.
2. Inspection to be performed to industry standards.
<http://www.clarohomeinspections.com/standard-home-inspection-agreement.html>
3. Photo document the visible defects and / or deficiencies.
4. Produce a home inspection report outlining the homes conditions, defects and/or deficiencies
5. Provide up to 30 min of consultation time at no extra charge when needed.
6. Use FLIR infrared to scan the home for defects where applicable.
7. HD Sewer Line Camera Inspection available at an additional cost.
8. Mold analysis with lab results available at an additional cost.
9. Aerial Drone Roof Analysis available at an additional cost.

Inspection Service Provided By
Inspector Eduardo W. Balsells InterNachi #13081209
CLARO HOME INSPECTIONS LLC

A Certified Professional Inspector in good standing with the International Association of Certified
Home Inspectors.

2 Report Summary Page

This is only a summary of the inspection report and is not a complete list of discrepancies.

Section	Condition#	Comment
Utilities	3	<p>2 gas meters were located at the south side of the home. Natural gas service was provided to the homes via public utility. Gas was on at time of inspection. There were no gas leaks detected on the day of inspection.</p> <p>The gas supply pipes were in acceptable condition. The gas supply pipes were properly installed and supported at the exposed areas.</p> <p>A meter wrench could not be located in the vicinity of the gas meter, it is recommended in areas subject to seismic activity. A proper wrench should be chained to the meter to provide a convenient means to shutoff the gas valve in case of emergencies. Consult your local gas authority.</p> <p>The meter was not equipped with an automatic seismic shutoff valve. We recommend client consult the local gas authority provider for requirements. Consult a licensed plumber for installation.</p>
Utilities	5	<p>Sewer is provided to the home via public utility. Drains were tested for connection and drain quality. Drains were free flowing and functioned normally. However see sewer line inspection details.</p> <p>Sewer Line Inspection (Unit 6519) Inspection Scope: A high-definition sewer camera inspection was conducted, covering approximately 39.2 feet from the cleanout at the rear of the North side unit. Material: Visible piping consists of approximately 90% ABS and 10% cast-iron. (Fnc) Deficiencies: The inspection revealed significant pipe settlement, resulting in standing water and/or a fully clogged pipe. This likely indicates sections were not properly installed. Obstructions: Waste obstructions were present, indicating poor drainage. Limitations: The camera could not advance further due to diminished diameter at the cast-iron pipe and/or the use of a T-fitting instead of an elbow sweep. (NI) Active Leak: A significant leak appears to be present in the general bathroom area of this unit. Recommendation: Consult a licensed plumber to address pipe</p>

		settlement, clearing of clogs, and the bathroom leak. See plumbing and crawlspace notes for further detail. (Rep)
Grounds Sec A	7	The driveway appeared to be in serviceable condition at the time of the inspection. Cracks and deterioration were visible in some areas and are part of typical settling and aging of the driveway's life-cycle. Gen. maintenance is needed to prolong serviceable life.
Grounds Sec A	11	Drainage at the side yards of the home appeared to be satisfactory at the time of the inspection. Shared Driveway/Easement: The North side yard/rear unit driveway appears to be shared with the neighbor. (NI) Recommendation: It is recommended that the client request more information and details regarding any easements or rights-of-way from the current homeowner.
Grounds Sec B	13	Maintenance is recommended. A 12" clearance between shrubs and plantings is needed to help prevent the buildup of moisture. A 5' clearance between trees and the building structure is recommended to help prevent damage. Trees that are too close to buildings may be fire hazards. Soffit vents provide easy access for flames to enter a house. Leaves and broken branches can clog gutters, potentially causing water penetration into the building. Old, damaged or otherwise weak trees may fall and endanger lives and property. Tree roots may enter plumbing or drain lines causing clogs and or ruptures. A limited view and inspection was caused by vegetation. This inspection was therefore limited to visible and accessible areas only.
Exterior Sec A	20	A representative number of windows were tested at the time of the inspection. Windows tested, show signs of average normal wear for their age. There were no visible signs of water infiltration noted. General cleaning and lubrication of the lower track and caulking of the corner assemblies is recommended to prevent future water intrusion. Replace missing or loose window screens. Unit 6521 laundry area. Missing window. The area was open to the elements. Consider the cost of window installation.
Exterior Sec B	22	The visible and accessible portions of the exterior wall coverings appeared to be in serviceable condition for the age of the home at the time of the inspection. Minor cracks were noted and are considered normal. Cracks larger than a 1/4" should be properly sealed to prevent water intrusion. Seal and caulk around all wall penetrations to prevent moisture intrusions. (Note the sizable

		<p>crack at the upper north side/see roofing drains.)</p> <p>A bump out was constructed at the side of the home - laundry area. Area appeared to be additions or improvements to the original home structure. It is recommended client do his own diligence and request all required additional permits for these improvements.</p> <p>Weep screed not installed. It should be noted that the building stucco siding terminated below or at finished grade of the perimeter walls and foundation. This condition is no longer considered acceptable by modern construction standards and practices. Condition is conducive to moisture migration to the wood framing supporting members. Subject to moisture damage. It is suggested that a positive finish grade slope away from the buildings perimeter be maintained to prevent future moisture damage.</p>
Exterior Sec B	23	<p>The exterior trim appeared to be in serviceable condition at the time of the inspection. General maintenance such as caulking, light prep and paint might be needed in some areas as part of a regular home maintenance program. However.</p> <p>Bump out laundry area eaves, evidence of moisture intrusion and or damage was noted at the deck//eave. Further evaluation is needed to determine evidence of water damage or concealed conditions. Consult a qualified contractor for further evaluation.</p>
Exterior Sec C	25	<p>A representative number of hose bibs were tested and found to be in functional condition. Back-flow preventers were not present. Back-flow preventers should be installed at all hose bibs to prevent contamination to the homes drinking water. Maintenance, such as tightening of the packing nut, or replacements may be needed to prevent leaks while hoses are in use.</p>
Roofing	28	<p>The roll roof covering portions of the home show normal wear for its age and appeared to be in functional condition at the time of the inspection. However. The rear portion at the water collection area had evidence of substandard patching and repair. Given this condition, it is likely that the roof may have leaked at one time. The inspector cannot offer an opinion as to whether the roof leaks today unless it is moderately raining at the time of inspection. It is recommended client obtain a full disclosure / history information from the seller prior to close.</p> <p>Roll roofing typically has a life expectancy of 10 to 15 years from the date of installation, depending on factors such as material quality, installation methods, and ongoing maintenance. The roof is likely past 80% of its expected lifespan.</p>
Roofing	32	<p>This is a low slope roof with a scooper type of collection system.</p>

		<p>Portions of the front gutters are likely at the interior of the walls, rear is a scooper with a wall drain. Client should note that evidence of patch and repair was noted at both areas. Rear area was obstructed or clogged by personal items. It should be noted that front porch roofing right side a collector or scooper drain was present. However, North porch was missing a drain or opening or the drain was totally clogged and or blocked and not visible. Client should also note what appears to be a moisture related crack at the side of the wall was present. Further evaluation by a qualified contractor is needed to prevent further damage and or water collection and the possibilities of seepage through the roof deck.</p> <p>Rain gutter and drains should be cleaned annually. It is recommended that all downspouts be extended 30 inches away from the homes foundation where practical.</p>
Roofing	33	<p>The exposed roof vent penetrations and flashings appeared to be in functional condition at the time of inspection. There were no apparent signs of water infiltration. The flashings had evidence of substandard patching and repair. Given this condition, it is likely that the roof may have leaked at one time. The inspector cannot offer an opinion as to whether the roof leaks today unless it is moderately raining at the time of inspection.</p> <p>Head wall flashing at shingle roof substandard patching or repair, metallic head wall flashing not visible. Consult a licensed roofer for maintenance.</p> <p>Description: A hooded metallic vent was present over the bathroom area. While typically designed for high-volume airflow and weather protection, this is an atypical residential installation. Findings: Visible rust and evidence of repeated, substandard mastic/sealant applications indicate deferred maintenance. These "patches" are prone to failure. Action: A licensed roofer should be consulted to evaluate the unit's integrity and provide a permanent flashing solution.</p>
Plumbing System	36	<p>There was no water pressure regulator present and or installed. Water Pressure - High Water pressure was measured at 90 PSI (pounds per square inch) at the time of inspection. Deficiency/Recommendation (Rep): Water pressure regulators are recommended for all residential homes when pressure exceeds 70 PSI. This will help prevent over-pressurizing the plumbing system and connected appliances such as dishwashers and washing machines, potentially prolonging their lifespan and preventing leaks. It is recommended that a qualified plumber be consulted to install a pressure regulator.</p>
Plumbing System	38	<p>All drains that could be tested were inspected for connection and drain quality. Drains were free-flowing. Toilet paper is not utilized during testing of the drain lines. However, Client should note significant leaks were noted below the north unit bathroom area. See crawlspace notes.</p>

		Also see utilities/sewer line inspection notes.
Attic	41	<p>Attic access panel was located at unit 6521 bedroom closet. The attic access panel was operable.</p> <p>Panel cover insulation was not installed. Additional insulation material at access door is recommended for energy efficiency and comfort.</p> <p>Client should note that inspection of the attic is limited / restricted to the safe observable areas.</p>
Attic	42	<p>The visible and accessible roof joists / rafters / roof supports and or midspan bracings were in serviceable condition. There were no abnormal signs of sagging, twisting and or damage associated with the wood framing members.</p> <p>Fire/Smoke Damage: Portions of the roof framing and or decking show signs of previous smoke and/or fire-related damage. (NI)</p> <p>Integrity of Repairs: While these areas may have been remodeled or rebuilt, the structural integrity or adequacy of the past repairs cannot be determined by a visual inspection alone.</p> <p>Recommendation: It is recommended that the client consult the current homeowner and/or review building permits and fire insurance claims for further details regarding the scope and approval of previous repairs.</p>
Attic	45	<p>Minimal to no insulation was noted in the attic area. Proper insulation is essential for improving energy efficiency, maintaining indoor comfort, and reducing utility costs. It is recommended that the client consult with a qualified insulation professional to evaluate options, estimate costs, and ensure compliance with current standards and energy efficiency requirements.</p>
Foundation - Crawl Space A	51	<p>The foundation walls were found to be in normal serviceable condition for the age of the home. There were no visible abnormal cracks or settling noted. A number of small cracks caused by curing and normal expansion and contraction of the concrete were observed. Sealing with appropriate materials recommended.</p> <p>Unit 6519. Due to the limited access (obstructed by water damage), the raised foundation / crawl space area could only be inspected from the access opening area. This visual inspection was extremely limited. A proper inspection would require full access to all areas. (Please see water damage notes at moisture section)</p>
Foundation - Crawl Space A	52	<p>The home is bolted to the foundation. Earthquake retrofitting was observed. It is recommended client consult with current home owner for the extend of any warranties and / or general information.</p>
Foundation - Crawl Space A	55	<p>Post and pier alignment was found be in serviceable condition for the age of the home. However. Post and Pier seismic bracing is recommended for all raised foundations built prior to 1960. Seismic bracing will provide additional support during seismic</p>

		<p>activity. It is recommended client consult a licensed foundation contractor for more information on the subject. For more information on earthquake preparedness and credits visit: http://www2.earthquakeauthority.com/earthquakerisk/Pages/default.aspx</p> <p>Earthquake retrofitting was observed around the perimeter foundation walls. However. Client should consult a qualified earthquake retrofitting contractor for more information on post and pier seismic bracing.</p>
Foundation - Crawl Space A	57	<p>Pipe insulation was not installed at hot water supply lines. By current standards, hot water supply pipes should be insulated to help prevent condensation of metal pipes on cool nights and drips. Recommend Installation.</p>
Foundation - Crawl Space B	59	<p>A number of in-line wire splices were noted in the crawlspace. It is recommended client consult a licensed electrician for evaluation and correction.</p> <p>Communication cabling should be professionally strapped to prevent damage and to allow for appropriate access to the crawlspace area for servicing and repair. What appears to be abandoned electrical wire/conduit was present in the crawlspace. Recommend removal of all abandoned electrical wiring, material or conduit. Consult a licensed electrician for evaluation and correction.</p>
Foundation - Crawl Space B	60	<p>Moisture & Ongoing Leak: Excessive moisture and an ongoing water leak were observed. The inspector entered through the front unit access but could not crawl to the rear due to excessive wetness. Access via the rear bathroom entrance was also obstructed. (NI)</p> <p>Source: While the exact origin was not located, the volume of water suggests a damaged supply, irrigation, or drainage pipe.</p> <p>Structural Seepage: Moisture has seeped into foundation walls, post piers, and structural beams. This environment is highly conducive to wood rot, rust, and the compromise of structural integrity.</p> <p>Health & Safety: Standing sewage and moisture release toxic fumes and airborne mold spores, which can migrate into the living area and cause respiratory issues, headaches, or nausea.</p> <p>Mold Disclosure: A mold inspection or testing was not performed. The client declined a mold test with lab results. Further information is available at: http://www.cdc.gov/mold/basics.htm.</p>

		<p>Vapor Barrier: A moisture/vapor barrier was not installed. This is recommended for energy efficiency and moisture control.</p> <p>Recommendations</p> <p>Remediation: Consult a qualified water damage remediation contractor to evaluate moisture/mold issues and assess soil conditions.</p> <p>Plumbing: A licensed plumber should be engaged to locate and repair the active leak once the area is accessible. (Rep)</p>
Foundation - Crawl Space B	61	<p>No insulation was present / installed in the crawl space area. Although this may have been typical at the time of construction. It is recommended client consider insulation installation for increase energy efficiency, savings and comfort.</p>
Foundation - Crawl Space B	63	<p>Cellulose / debris, paper or wood based material was laying directly on top of soil at the sub-floor crawl space. Cellulose and debris in the crawlspace promote habitat for rodents and pests. It is recommended remove any cellulose and or debris from the crawlspace area.</p>
Electrical System Subpanel 1	66	<p>The main power cable is copper. Copper nonmetallic sheathed cable also referred to as Romex was utilized at the panel for branch circuits were visible. Materials used at the interior of the walls was not visible.</p> <p>The property contains older armored BX wiring, visible in branch circuits at the crawlspace or attic. BX wiring, typical in homes from the 1950s, often exhibits aged insulation that may become brittle and prone to cracking, increasing the risk of short circuits. Moisture exposure can lead to corrosion, further compromising the integrity of the wiring. Additionally, older BX systems frequently lack a dedicated grounding wire, heightening the risk of electrical shock and reducing safety. The design may also contribute to overheating, posing a fire hazard. Furthermore, these installations generally do not meet current electrical codes, which may complicate upgrades or renovations. Evaluation by a licensed electrician is strongly recommended to assess the wiring's condition and recommend corrective measures if needed.</p>
Electrical System Subpanel 1	67	<p>AFCI circuit breakers were not present. AFCI circuit breakers help to prevent electrical fires caused by arc fault conditions at bedroom receptacles. Conventional circuit breakers only respond to overloads and short circuits; so they do not protect against arcing conditions that produce erratic, and often reduced current. AFCI circuit breakers are a modern requirement for new construction, upgrades and or where branch circuit wiring is modified, replaced, or extended, for all bedroom and similar receptacle circuits. Consult a License Electrician for local requirements.</p>

Electrical System Subpanel 1	69	<p>Exterior Lighting. Exterior lighting that could be tested was found to be functional. It is recommended that all exterior light fixtures be properly sealed to the structure.</p> <p>Rear door exterior lighting was missing. Open junction box. Client should consult a license electrician for lighting replacement.</p> <p>Exterior Receptacles.</p> <p>There was no visible convenience receptacle outlet. It is a modern requirement that any balcony deck or porch accessible from the interior of the dwelling unit. Be provided with a convenience receptacle outlet. It is a modern requirement that all exterior receptacles be GFCI protected for occupant's safety.</p> <p>Weatherproof covers are also required for receptacles in wet locations.</p>
Plumbing WH 1	71	<p>Hot water heater was found to be functional on the day of the inspection. Output temperatures were satisfactory. There were no visible signs of leaks, rust or corrosion at the time of inspection.</p> <p>Hot water heater temperature was measure at 145°. We recommend a temperature setting of 120°F or less. Water temperatures over 125°F can cause severe burns instantly or death from scalds. Note: Households with small children or invalids may require a 120°F or lower temperature setting to prevent accidental contact with HOT water.</p>
Plumbing WH 1	75	<p>Temperature and pressure relief valve was in satisfactory condition. However the discharge overflow pipe was not extended to the exterior. Recommend installation of an extension pipe for increased safety. Client should consult a licensed plumber for additional information.</p>
Plumbing WH 1	77	<p>Shutoff Gas Valve, Gas Line. Were present. There were no apparent gas leaks at gas appliance connections.</p> <p>The gas supply must have a readily accessible shutoff valve adjacent to the water heater ahead of the flex connector. Flex connectors cannot be used in any concealed locations, cannot pass through any walls, floors or ceilings.</p> <p>A drip leg (sediment trap) at the gas line connection was missing / not installed. It is recommended client consult their local utility provider / license plumber for local installation requirements.</p> <p>Pipe bonding between water supply line and gas line was not visible / installed. Therefore it could not be inspected. Ideally, current standards require a simple jumper wire across.</p>
Plumbing WH 1	78	<p>Drip pans are recommended below all hot water heaters. Drip pans should drain to the exterior. This will help contain leaks and prevent water damage.</p>
HVAC - Furnace 1	80	<p>The thermostat. Could not be tested. The pilot light / Furnace unit was not functional. Further evaluation is recommended.</p> <p>Evaluating the calibration of the thermostat is outside the scope of the general home inspection.</p>

HVAC - Furnace 1	81	<p>Gas furnace pilot was not lit. The inspector was unable to inspect. Repairs, modifications and / or adjustments of any type are prohibited by the inspector. If pilots are off, a full inspection is not possible. It is suggested that the heating systems be activated and fully inspected by a license HVAC contractor prior to close of this property. The equipment must have the capability of providing heat to at least 68 degrees Fahrenheit.</p> <p>It should note that unit show signs of deferred maintenance. General servicing is recommended before relighting or testing.</p> <p>Combustion air venting. Appeared to be in satisfactory. The screen should be free of debris for appropriate airflow.</p> <p>The Unit's manufacturer data sheet was not present / or legible. The average life span of central air-conditioning system is 12- to 20- years. That varies with the unit's location and design, quality of installation and maintenance schedule. Heat pumps have about the same life-span - about 15 years - when recommended maintenance is followed. Beyond manufacturer's life expectancy. Client should consider the cost of updates and or replacements.</p>
HVAC - Furnace 1	83	<p>Shutoff Gas Valve, Line. Were present. Could not be tested. The pilot light was not lit for inspection. Consult the local gas authority to light the pilot and test the Gas furnace for functionality.</p> <p>A drip leg (sediment trap) at the gas line connection was missing, it is recommended client consult their local utility provider / license plumber for local installation requirements.</p>
Carbon Monoxide & Smoke Detectors 1	105	<p>Main-Hallway Outside Sleeping Quarters. Carbon monoxide/smoke detectors outside sleeping quarters were not present. CO/smoke detectors should be installed according to manufacturers installations.</p> <p>Smoke and carbon monoxide detectors should be replace every 10 years. Re-test detectors every month for safety.</p>
Bath #1 A Unit 1	128	<p>Bathroom #1. The general condition of the visible and accessible windows appeared serviceable at the time of the inspection. Window rail defect was noted. It is recommended client consult a licensed window contractor for cost of repair / replacement.</p>
Bath #1 B Unit 1	134	<p>Bathroom #1. Shower. Shower head and wand. Hot and cold running water was present. Drainage was functional. However. The shower was slow to drain. Likely the result of a local clog. Recommend drain cleaning. Tub and shower were in serviceable condition showing signs of</p>

		normal use. General caulking / sealing is recommended throughout.
Bath #1 B Unit 1	137	Bathroom #1. The exhaust fan did not operate or was disconnected in bath. It is recommended client consult a licensed electrician for troubleshooting.
Kitchen Sec D Unit 1	153	The combination microwave and vent hood were tested by way of normal operating controls. Exhaust-Vent Hood was found to be functional. Note that the exhaust vent filter appears to be in poor condition. Recommend replacements. A light bulb (s) was out, missing or inoperative. Recommend replace light bulbs and retest.
Electrical System Subpanel 2	160	The main power cable is copper. Copper nonmetallic sheathed cable also referred to as Romex was utilized at the panel for branch circuits were visible. Materials used at the interior of the walls was not visible. The property contains older armored BX wiring, visible in branch circuits at the crawlspace or attic. BX wiring, typical in homes from the 1950s, often exhibits aged insulation that may become brittle and prone to cracking, increasing the risk of short circuits. Moisture exposure can lead to corrosion, further compromising the integrity of the wiring. Additionally, older BX systems frequently lack a dedicated grounding wire, heightening the risk of electrical shock and reducing safety. The design may also contribute to overheating, posing a fire hazard. Furthermore, these installations generally do not meet current electrical codes, which may complicate upgrades or renovations. Evaluation by a licensed electrician is strongly recommended to assess the wiring's condition and recommend corrective measures if needed.
Electrical System Subpanel 2	161	AFCI circuit breakers were not present. AFCI circuit breakers help to prevent electrical fires caused by arc fault conditions at bedroom receptacles. Conventional circuit breakers only respond to overloads and short circuits; so they do not protect against arcing conditions that produce erratic, and often reduced current. AFCI circuit breakers are a modern requirement for new construction, upgrades and or where branch circuit wiring is modified, replaced, or extended, for all bedroom and similar receptacle circuits. Consult a License Electrician for local requirements.
Electrical System Subpanel 2	163	Exterior Lighting. Exterior lighting that could be tested was found to be functional. However lighting fixture substandard installation or damaged. Consult a license electrician for replacement. Exterior Receptacles. GFCI (ground fault circuit interrupter) protected receptacles at the exterior of the home that could be tested were found to be functional on the day of the inspection. (GFCI a safety device for outlets near water).

HVAC - Furnace 2	165	<p>The thermostat. Could not be tested. The pilot light / Furnace unit was not functional. Further evaluation is recommended.</p> <p>Evaluating the calibration of the thermostat is outside the scope of the general home inspection.</p>
HVAC - Furnace 2	166	<p>Gas furnace pilot was not lit. The inspector was unable to inspect. Repairs, modifications and / or adjustments of any type are prohibited by the inspector. If pilots are off, a full inspection is not possible. It is suggested that the heating systems be activated and fully inspected by a license HVAC contractor prior to close of this property. The equipment must have the capability of providing heat to at least 68 degrees Fahrenheit.</p> <p>It should note that unit show signs of deferred maintenance. Note the trash and debris's at the interior of the equipment box. General servicing is recommended before relighting or testing.</p> <p>Combustion air venting. Appeared to be in satisfactory. The screen should be free of debris for appropriate airflow.</p> <p>The Unit's manufacturer data sheet was not present / or legible. The average life span of central air-conditioning system is 12- to 20- years. That varies with the unit's location and design, quality of installation and maintenance schedule. Heat pumps have about the same life-span - about 15 years - when recommended maintenance is followed. Beyond manufacturer's life expectancy. Client should consider the cost of updates and or replacements.</p>
HVAC - Furnace 2	168	<p>Shutoff Gas Valve, Line. Were present. Could not be tested. The pilot light was not lit for inspection. Consult the local gas authority to light the pilot and test the Gas furnace for functionality.</p> <p>A drip leg (sediment trap) at the gas line connection was missing, it is recommended client consult their local utility provider / license plumber for local installation requirements.</p>
Plumbing WH 2	175	<p>Hot water heater was found to be functional on the day of the inspection. Output temperatures were satisfactory. There were no visible signs of leaks, rust or corrosion at the time of inspection.</p> <p>Hot water heater temperature was measure at 138°. We recommend a temperature setting of 120°F or less. Water temperatures over 125°F can cause severe burns instantly or death from scalds. Note: Households with small children or invalids may require a 120°F or lower temperature setting to prevent accidental contact with HOT water.</p>
Plumbing WH 2	177	<p>Venting Flue: The visible and accessible portions of the venting flue pipe appeared to be in serviceable condition at the time of the inspection. (Fnc)</p>

		<p>Fire Safety Hazard: The flue vent and water heater cabinet were in close proximity to, or covered by, substantial vegetation. This creates a significant fire safety hazard and may obstruct proper drafting of combustion gases. (NI)</p> <p>Recommendation: Vegetation clearing is recommended to provide adequate clearance around the cabinet and vent terminal. (Rep)</p>
Plumbing WH 2	179	<p>Water Heater - Temperature & Pressure Relief Valve The water heater's Temperature and Pressure (T&P) Relief Valve was in satisfactory condition. (Fnc) However, the discharge overflow pipe for the valve was not extended to the exterior of the home. (Rep) Safety Concern (STY): This is a safety concern as the discharge of high-temperature water or steam could cause severe burns if the valve were to activate in an emergency. Recommendation: It is recommended that a licensed plumber install an extension pipe to direct the discharge to the exterior of the home for increased safety. (Rep)</p>
Plumbing WH 2	181	<p>Shutoff Gas Valve, Gas Line. Were present. There were no apparent gas leaks at gas appliance connections.</p> <p>A drip leg (sediment trap) at the gas line connection was missing / not installed. It is recommended client consult their local utility provider / license plumber for local installation requirements.</p> <p>Pipe bonding between water supply line and gas line was not visible / installed. Therefore it could not be inspected. Ideally, current standards require a simple jumper wire across.</p>
Plumbing WH 2	182	<p>Drip pans are recommended below all hot water heaters. Drip pans should drain to the exterior. This will help contain leaks and prevent water damage.</p>
Laundry	184	<p>Laundry Room. Laundry area of the home appeared to be additions or improvements to the original home structure. It is recommended client do his own diligence and request all required additional permits for these improvements.</p> <p>While the general condition of the visible and accessible floors, walls and ceiling appeared functional at the time of the inspection. It should be noted that wall area show signs of patch, repair or moisture related damage or substandard installation. Floor was leaning or not level. Consult a qualified contractor for further evaluation.</p>
Laundry	185	<p>Laundry Room. Missing laundry area door. Missing laundry area window installation. Client should consider the cost of door and window installation.</p>
Laundry	186	<p>Laundry Room. Intended Use: The area appears to be intended for use as a</p>

		<p>laundry room based on its layout and location. (Fnc) Missing Utilities: No visible water supply hose connections or dedicated drain lines for a washing machine were observed at the time of the inspection. (NI) Functional Note: Without these specific plumbing connections, the area is currently not functional for standard laundry equipment.</p>
Laundry	187	<p>Laundry Room. Intended Use: The area appears to be intended for use as a laundry room based on its layout and location. (Fnc) Dryer Venting: A dryer exhaust vent was present at the exterior wall. (Fnc) Vent Obstruction: A screen was present at the vent pipe exhaust. Risk: Screens trap lint, leading to hazardous buildup within the duct, which is a significant fire safety hazard and restricts airflow. Recommendation: Remove the screen and install a proper backdraft damper or "louvered" cap designed for dryer exhausts. (Rep) Fuel Supply: A gas connection was not visible or present for a dryer connection. (NI) Without these specific plumbing connections, the area is currently not functional for standard laundry dryer equipment.</p>
Laundry	188	<p>Laundry Room. Electrical lighting. Lights and switches by way of hallway lighting. Electrical Outlets. Laundry electrical outlets were present and appeared to function normally. Appliances are not operated and or disconnected for testing as part of the inspection. A 20 amp rated receptacle is recommended for all laundry areas. GFCI. Required GFCI receptacles were not present. It is a modern requirement that all laundry countertop surfaces or within 6 feet of a wet location should be protected by ground fault circuit interrupters for safety. Exhaust Fan. None present. Window (opening) ventilation only was observed in the laundry area. While this was considered adequate by today's standards, we strongly advise the installation of a powered ventilation system. Failure to remove excess moisture from laundry areas can cause mold and moisture conditions.</p>
Living - Dining – Areas 2	193	<p>Living - Dining - Areas. The general condition of the visible and accessible windows appeared serviceable at the time of the inspection. Windows that could be tested were found to operate</p>

		normally. Window rail defect was noted. It is recommended client consult a licensed window contractor for cost of repair / replacement.
Living - Dining – Areas 2	196	Living - Dining - Areas. Inspector could not locate an accessible outlet / switch for inspection. Recommend further evaluation. Convenience extension cord current was present. An outlet was not functional, defective or inoperative. There was no current present at the receptacle outlet. Consult a licensed electrician for evaluation and correction. All receptacles more than 10 years old should be updated to modern tamper-resistant receptacles for occupant safety.
Halls 2	198	Halls. The general condition of the visible and accessible portions of the floors appeared to be in fair condition at the time of the inspection. However. Note. Client should note portions of the subfloor /floor decking appeared uneven or leaning. Inspection of these areas was obstructed by the finish flooring material and not visible. Consult a license flooring contractor for more information.
Halls 2	202	Halls. Lights was tested and found to be functional. However. Light switch component damaged and or no properly installed.
Halls 2	203	Halls. An open ground condition was observed at a receptacle outlet (S). Consult a licensed electrical contractor for evaluation and or repair.
Carbon Monoxide & Smoke Detectors 2	205	Main-Hallway Outside Sleeping Quarters. Carbon monoxide/smoke detectors outside sleeping quarters were not present or functional. CO/smoke detectors should be installed according to manufacturers installations. Smoke and carbon monoxide detectors should be replace every 10 years. Re-test detectors every month for safety.
Bedrooms No 1 Unit 2	207	Bedroom #1. No smoke detectors were found at the time of the inspection. Smoke detectors are needed in each bedroom for occupant safety. Smoke detectors should be replace every 10 years. Re-test detectors every month for safety.
Bedrooms No 1 Unit 2	209	Bedroom #1. Walls were in fair condition for the age of the home. However. Portions of the wall appeared to be damaged in some area recommend general repair.
Bedrooms No 1 Unit 2	212	Bedroom #1. The general condition of the visible and accessible doors appeared serviceable at the time of the inspection. Doors that could be tested were found to operate normally. Client should note that bedroom is only accessible from the exterior and or from the bathroom area, not a typical condition or bedroom layout.

		Missing wardrobe closet door. Consult a general contractor for cost of replacement.
Bedrooms No 1 Unit 2	214	<p>Bedroom #1. Two prong (non-grounded) receptacles were present and functioned normally. Although these receptacles were commonly used years ago, we recommend a licensed electrician upgrade the outdated outlets to grounded three prong receptacles for safety.</p> <p>Minimal outlets. Additional receptacles are recommended for convenience and safety. The use of extension cords may lead to overheating.</p> <p>All receptacles more than 10 years old should be updated to modern tamper-resistant receptacles for occupant safety.</p>
Bedrooms No 2 Unit 2	221	<p>Bedroom #2. The general condition of the visible and accessible doors appeared serviceable at the time of the inspection. Doors that could be tested were found to operate normally.</p> <p>Missing wardrobe closet door. Consult a general contractor for cost of replacement.</p>
Bedrooms No 2 Unit 2	222	<p>Bedroom #2. Lights and switches that were tested were found to be functional with appropriate cover plates installed.</p> <p>Substandard lighting improvements (closet) and or connections noted. Safety hazard. Consult a license electrician for evaluation and or corrections.</p>
Bath #1 B Unit 2	233	<p>Bathroom #1. Toilet was tested and found to be functional on the day of the inspection. Toilet had a loose connection to the floor. Consult a licensed plumber to reattach flange bolts. Wax ring replacement may be needed.</p>
Bath #1 B Unit 2	234	<p>Bathroom #1.</p> <p>Tub and shower.</p> <p>Hot and cold running water was present.</p> <p>Drainage was functional. The drain stopper was missing or not operational in bath.</p> <p>Tub and shower area show signs of significant daily wear and tear. General caulking / sealing is recommended throughout.</p>
Bath #1 B Unit 2	236	<p>Bathroom #1. Lights and switches that were tested were found to be functional with appropriate cover plates properly installed. A light bulb was out, missing or inoperative. Recommend all lights be operable prior to close.</p> <p>Missing or damaged cover plates / componets observed at the switch outlets. Safety hazard. Client to consult a licensed electrician for repairs.</p>
Bath #1 B Unit 2	237	<p>Bathroom #1. The ventilation appeared to be serviceable in the</p>

		bath. Excessive lint observed at the exhaust. Bath fans draw in dust and lint, which can eventually clog the grille and limit airflow. For effective air movement. Recommend cleaning.
Bath #1 B Unit 2	238	Bathroom #1. The GFCI (ground fault circuit interrupter) receptacle did not respond to the inspectors (external) trip test device. While this device responded normally when self-tested. This device may not properly respond when needed. Recommend further evaluation and / or repair by a licensed electrician.
Kitchen Sec A Unit 2	240	Kitchen. The general condition of the visible and accessible portions of the floors appeared to be in fair condition at the time of the inspection. Client should note that while some items were noted as functional. Significant deferred maintenance may be present and not noted due to the present conditions of the home. While the item was noted as to be functional. Client should consider the cost of general cleaning and or maintenance required to bring the item to what is considered normal condition.
Kitchen Sec B Unit 2	245	Countertop Condition: The visible portions of the kitchen counters appeared to be in fair condition for the age of the home. (Fnc) Maintenance & Wear: Counters showed evidence of heavy daily wear and tear, including an accumulation of kitchen grease, dirt, and grime. (NI) Recommendation: Client should consider the potential costs associated with professional cleaning, repairs, or future upgrades/replacements.
Kitchen Sec B Unit 2	246	Cabinet Condition: The visible and accessible portions of the kitchen cabinets appeared to be in fair condition for the age of the home. (Fnc) Maintenance & Wear: Similar to the countertops, the cabinet surfaces showed evidence of heavy daily wear and tear, including an accumulation of kitchen grease, dirt, and grime. (NI) Recommendation: Client should consider the costs associated with deep cleaning, hardware replacement, or potential refinishing/upgrades.
Kitchen Sec B Unit 2	247	The kitchen sink was in functional condition. Faucet was operational. Hot and cold running water was present. Drain assemblies functioned normally with no signs of active leaks. However. Slow drain was observed at kitchen sink. Consult a licensed plumber to clear slow drain lines at drain assembly. What appears to be rodent or pest droppings was noted at the interior of the sink cabinet. It is recommended client consult a pest professional for further evaluation. Outlet box covers were missing. Recommend installation of covers for increased safety.

Kitchen Sec C Unit 2	250	Lights and switches that were tested were found to be functional with appropriate cover plates properly installed. A number of light(s) bulb(s) were out, missing or inoperative. Recommend all lights be operable prior to close.
Kitchen Sec C Unit 2	251	<p>GFCI receptacle outlets that were tested were found to be functional.</p> <p>A kitchen counter outlet was not functional or there was no current present. Kitchen receptacles that serve countertop surfaces or within 6 feet of a wet location should be protected by ground fault circuit interrupters for safety. Consult a licensed electrician.</p> <p>An open neutral wire condition was observed at an outlet(s). It is recommended client consult a licensed electrician for correction. Safety hazard.</p> <p>Two prong (non-grounded) receptacles were present and functioned normally. Although these receptacles were commonly used years ago, we recommend a licensed electrician upgrade the outdated outlets to grounded three prong receptacles for safety.</p>
Kitchen Sec D Unit 2	253	<p>Vent hood was tested by way of normal operating controls. It was found to be functional. Grease buildup noted. Left uncleaned, kitchen exhaust systems eventually accumulate enough grease to become extreme fire hazards.</p> <p>Beyond manufacturer's life expectancy. Client should consider the cost of updates and or replacements.</p>
Kitchen Sec D Unit 2	254	<p>The gas range was tested by way of normal operating controls. It was found to be functional. One or more of the burners on the cook top did not operate. Repair is needed.</p> <p>Gas has been provided for stove/range connection. There were no apparent signs of gas leaks from this appliance.</p> <p>Gas range was missing an anti-tip bracket safety device. It is recommended client consult with an appliance technician for installation of anti-tip safety device.</p> <p>Beyond manufacturer's life expectancy. Client should consider the cost of updates and or replacements.</p>
Kitchen Sec D Unit 2	256	<p>Dishwasher could not be tested due to present conditions. What appears to be live pests such as cockroaches were noted at the interior of the dishwasher cabinet. It is recommended client consult a pest professional for further evaluation.</p>

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Not Inspected / Not Installed

3 Utilities

Water

1) Images



2) Water Utility

(All units single meter) The main water meter was located at the front of the home at the curb.

Water service was provided to the home via public utility. Water service was established for the inspection. Water pressure and flow rates were functional at plumbing fixtures that were tested. Water pressure was measured between 80 to 90 psi.

Gas

3) Gas Utility

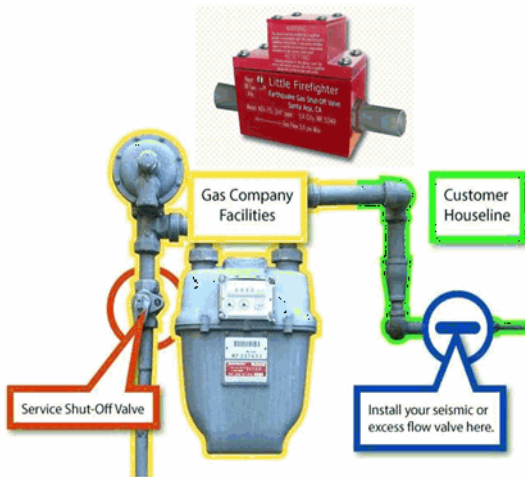
2 gas meters were located at the south side of the home. Natural gas service was provided to the homes via public utility. Gas was on at time of inspection. There were no gas leaks detected on the day of inspection. The gas supply pipes were in acceptable condition. The gas supply pipes were properly installed and supported at the exposed areas.

A meter wrench could not be located in the vicinity of the gas meter, it is recommended in areas subject to seismic activity. A proper wrench should

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be chained to the meter to provide a convenient means to shutoff the gas valve in case of emergencies. Consult your local gas authority.

The meter was not equipped with an automatic seismic shutoff valve. We recommend client consult the local gas authority provider for requirements. Consult a licensed plumber for installation.



Electric

4) Electric Utility

The main electrical meter (3) where located at the rear south side of the home. Electrical service was provided to the home by the electrical public utility, via overhead service conductors. Voltage was tested and well within guidelines.

Sewer

5) Sewer Connection

Sewer is provided to the home via public utility. Drains were tested for connection and drain quality. Drains were free flowing and functioned normally. [However see sewer line inspection details.](#)

Sewer Line Inspection (Unit 6519)

Inspection Scope: A high-definition sewer camera inspection was conducted, covering approximately 39.2 feet from the cleanout at the rear of the North side unit.

Material: Visible piping consists of approximately 90% ABS and 10% cast-iron. (Fnc)

Deficiencies: The inspection revealed significant pipe settlement, resulting in standing water and/or a fully clogged pipe. This likely indicates sections were not properly installed.

Obstructions: Waste obstructions were present, indicating poor drainage.

Limitations: The camera could not advance further due to diminished diameter at the cast-iron pipe and/or the use of a T-fitting instead of an elbow sweep. (NI)

Active Leak: A significant leak appears to be present in the general bathroom area of this unit.

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Recommendation: Consult a licensed plumber to address pipe settlement, clearing of clogs, and the bathroom leak. See plumbing and crawlspace notes for further detail. (Rep)



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4 Grounds Sec A

Driveways - Sidewalks - Walkways

6) Images



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Driveway Material The driveway material is concrete.

7) Driveway Conditions Mtc The driveway appeared to be in serviceable condition at the time of the inspection. Cracks and deterioration were visible in some areas and are part of typical settling and aging of the driveway's life-cycle. Gen. maintenance is needed to prolong serviceable life.

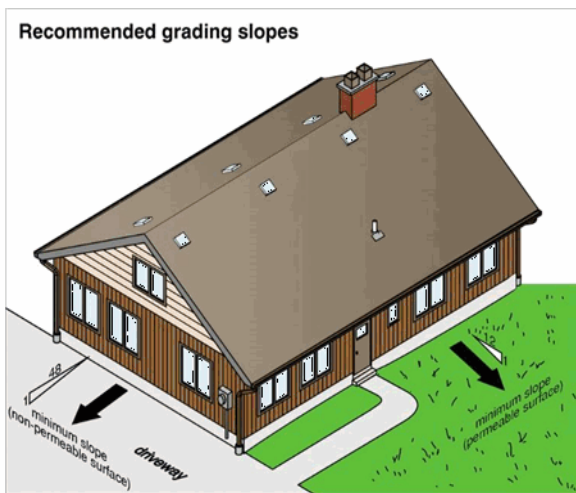
Walkways Material Concrete

8) Walkways Condition Mtc The visible areas of the walkways appeared to be in serviceable condition at the time of the inspection. Common cracks were observed and are part of normal curing and settling of the concrete's life-cycle.

Structure General Grading

Grading Slope The grade around the home was flat or nearly flat.

9) Grading Conditions Fnc Overall grade of the property is flat or nearly flat. A 5% grade away from the homes foundation is considered most ideal.



Drainage

10) Front Yard Conditions Fnc Drainage at the front of the home appeared to be satisfactory at the time of the inspection.

Storm drain baskets were present. It is vital to maintain clear storm drains. This will help prevent flooding during long sustained rains. A storm drain inspection or testing was not performed as part of this general home inspection. Client is advised to consult a qualified contractor/irrigation company for more information.

11) Side Yards Conditions Fnc Drainage at the side yards of the home appeared to be satisfactory at the time of the inspection.

Shared Driveway/Easement: The North side yard/rear unit driveway appears to be shared with the neighbor. (NI)
 Recommendation: It is recommended that the client request more

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information and details regarding any easements or rights-of-way from the current homeowner.

12) Backyard Conditions

Fnc

The drainage for the backyard appeared to be in satisfactory at the time of the inspection. Minor water pooling can be expected during rains at the patio slabs. Also see previous storm drain notes.

5 Grounds Sec B

Trees - Vegetation Affecting the Structure

13) Conditions

Mtc

Maintenance is recommended. A 12" clearance between shrubs and plantings is needed to help prevent the buildup of moisture. A 5' clearance between trees and the building structure is recommended to help prevent damage. Trees that are too close to buildings may be fire hazards. Soffit vents provide easy access for flames to enter a house. Leaves and broken branches can clog gutters, potentially causing water penetration into the building. Old, damaged or otherwise weak trees may fall and endanger lives and property. Tree roots may enter plumbing or drain lines causing clogs and or ruptures.

A limited view and inspection was caused by vegetation. This inspection was therefore limited to visible and accessible areas only.



Property Perimeter Wall - Fencing

Materials

The property perimeter wall or fence consists of a combination of cinder block and mortar, chain-link fencing, and wrought fencing.

14) Property Wall - Fencing Conditions

Fnc

The visible and accessible portions of the property walls and fences appeared to be in functional condition for the age of the home.

15) Gates Condition

Fnc

Gates that were tested were found in functional condition showing signs of average daily use. On the day of the inspection.

Special Notes

Grounds Notes

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This inspection is not intended to address or include any geological conditions or site stability information. We do not comment on coatings or cosmetic deficiencies and the wear and tear associated with the passage of time, which would be apparent to the average person. However, cracks in hard surfaces can imply the presence of expansive soils that can result in continuous movement, but this can only be confirmed by a geological evaluation of the soil. Any reference to grade is limited to only areas around the exterior of the exposed areas of foundation or exterior walls.

6 Exterior Sec A

Front - Back Entrance - Porch

16) Images



17) Front Entrance Condition

Fnc

#1. and #2.
The main entry door was tested and found to be functional. It operates normally. Door show signs of normal daily use. Cosmetic blemishes were noted. There were no signs of water infiltration at the time of the inspection.

18) Side Entrance Condition

NI

Unit 6519. The general condition of the accessible visible areas of the side entry door appeared serviceable. **However. Evaluation for proper operation was obstructed and not conducted. Further evaluation for proper operation recommended.**

Unit 6521. The door appeared to be in serviceable condition at the time of the inspection. Door operates normally. There were no signs of water infiltration at the time of the inspection

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19) Porch - Railings Conditions

Fnc

#1. and #2.
The visible and accessible areas of the porch appeared to be in functional condition consistent with the age of the home at the time of the inspection.



Exterior Windows - Sliding Doors

Window Type

Vinyl thermal pane windows.

20) Windows Conditions

Rep

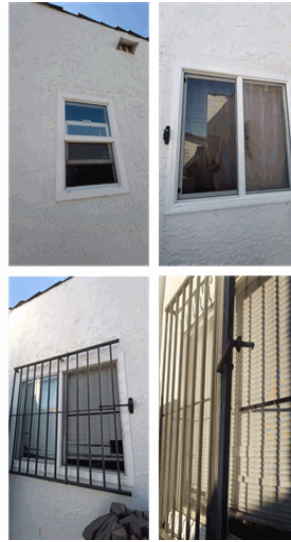
A representative number of windows were tested at the time of the inspection. Windows tested, show signs of average normal wear for their age. There were no visible signs of water infiltration noted.

General cleaning and lubrication of the lower track and caulking of the corner assemblies is recommended to prevent future water intrusion.

Replace missing or loose window screens.

Unit 6521 laundry area. Missing window. The area was open to the elements. Consider the cost of window installation.

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7 Exterior Sec B

Exterior Walls

21) Images

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Structure Type

Standard wood frame construction.

**Exterior Wall
Covering**

The visible and accessible areas of the exterior material are stucco.

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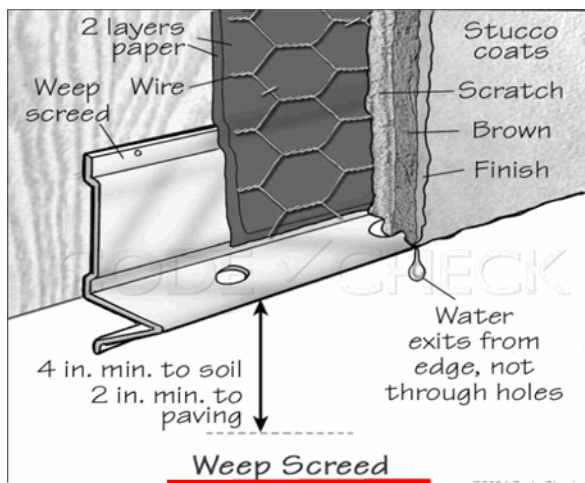
22) Exterior Wall Conditions

Mtc

The visible and accessible portions of the exterior wall coverings appeared to be in serviceable condition for the age of the home at the time of the inspection. Minor cracks were noted and are considered normal. Cracks larger than a 1/4" should be properly sealed to prevent water intrusion. Seal and caulk around all wall penetrations to prevent moisture intrusions. (Note the sizable crack at the upper north side/see roofing drains.)

A bump out was constructed at the side of the home - laundry area. Area appeared to be additions or improvements to the original home structure. It is recommended client do his own diligence and request all required additional permits for these improvements.

Weep screed not installed. It should be noted that the building stucco siding terminated below or at finished grade of the perimeter walls and foundation. This condition is no longer considered acceptable by modern construction standards and practices. Condition is conducive to moisture migration to the wood framing supporting members. Subject to moisture damage. It is suggested that a positive finish grade slope away from the buildings perimeter be maintained to prevent future moisture damage.



Wood Trim

23) Eaves, Soffits and Fascia Conditions

Rep

The exterior trim appeared to be in serviceable condition at the time of the inspection. General maintenance such as caulking, light prep and paint might be needed in some areas as part of a regular home maintenance program. However.

Bump out laundry area eaves, evidence of moisture intrusion and or damage was noted at the deck//eave. Further evaluation is needed to determine evidence of water damage or concealed conditions. Consult a qualified contractor for further evaluation.

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8 Exterior Sec C

Patio - Balconies and-or Deck Structures

24) Structures Conditions



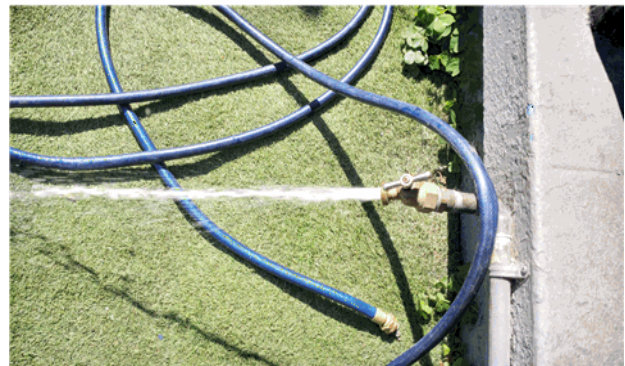
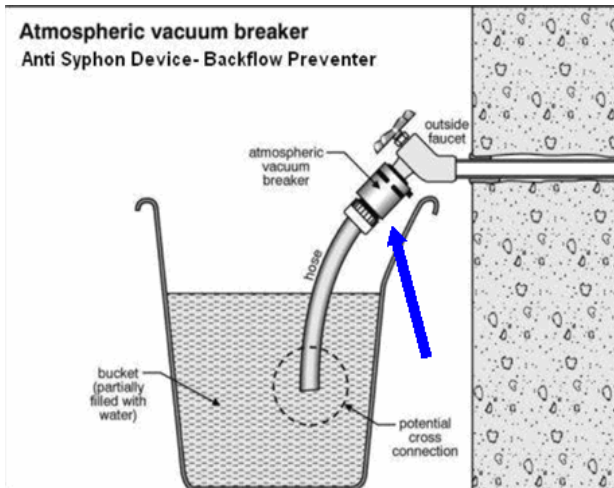
No patio structures were present.

Hose Bibs

25) Hose Bibs Conditions



A representative number of hose bibs were tested and found to be in functional condition. **Back-flow preventers were not present.** Back-flow preventers should be installed at all hose bibs to prevent contamination to the homes drinking water. Maintenance, such as tightening of the packing nut, or replacements may be needed to prevent leaks while hoses are in use.



26) Sprinkler System.



Sprinkler System. Sprinkler system inspection or testing is not performed as part of our services. Client is advised to consult a qualified professional for further information/evaluation.

Special Notes

Fnc = Functional | Rep = Repair / Replace | STY = Safety | Mtc = Maintenance | NI = Not Inspected / Not Installed

Exterior Notes

While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. During the course of the inspection, the inspector does not enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely affect the health of the inspector or other persons. Inspector may not be able to evaluate all surfaces of the home due to vegetation plantings and other obstructions. It is not the intent of the inspector to damage any of these items during the visual assessment of the home. The home inspector cannot diagnose the presence of lead in wood trim surfaces. Lead testing can only be performed by a certified company equipped to do so. The home inspection is a visual process only to determine the general overall condition and habitability of the structure. Outdoor lighting low voltage landscape lighting and irrigation are not part of this inspection as they are considered secondary systems.

9 Roofing

Roof Covering

27) Images.



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Method of Inspection

The roof was inspected from the roof at arms length. The roof was inspected by walking the safe and accessible areas.

Roof Style

The roof was constructed as a low sloped roof system.

Roof Covering Material

The primary roofing material is rolled roofing. Secondary, roof shingles.

Number of Layers

Single layer of roof shingles appeared to be present. Today's standards allow a maximum of two layers of shingles.

28) Roof Covering Conditions

Mtc The roll roof covering portions of the home show normal wear for its age and appeared to be in functional condition at the time of the inspection. However, [The rear portion at the water collection area had evidence of substandard patching and repair. Given this condition, it is likely that the roof may have leaked at one time. The inspector cannot offer an opinion as to whether the roof leaks today unless it is moderately raining at the time of inspection. It is recommended client obtain a full disclosure / history information from the seller prior to close.](#)

[Roll roofing typically has a life expectancy of 10 to 15 years from the date of installation, depending on factors such as material quality, installation methods, and ongoing maintenance. The roof is likely past 80% of its expected lifespan.](#)

29) Underlayment

Fnc A 15 pound underlayment layer is typically used for this type of home. Underlayment was not visible. 15 pound felt has a life expectancy of 20 years from date of installation.

30) General Roof Deck Condition

Fnc Approximately 20% of the roof deck was visible from the attic areas. There was no damage to roof deck in any of the visible areas. [\(Also see attic notes\)](#)

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31) Ventilation

Fnc

The roof was properly ventilated for the type and style of roof system installed at the time of construction. Power Ventilator. None present or visible.



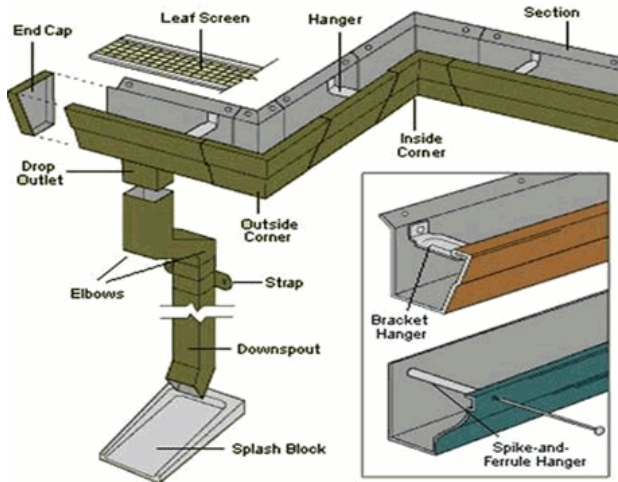
32) Rain Gutters and Downspouts Condition

Rep

This is a low slope roof with a scooper type of collection system. Portions of the front gutters are likely at the interior of the walls, rear is a scooper with a wall drain. Client should note that evidence of patch and repair was noted at both areas. Rear area was obstructed or clogged by personal items. It should be noted that front porch roofing right side a collector or scooper drain was present. However. North porch was missing a drain or opening or the drain was totally clogged and or blocked and not visible. Client should also note what appears to be a moisture related crack at the side of the wall was present. Further evaluation by a qualified contractor is needed to prevent further damage and or water collection and the possibilities of seepage through the roof deck.

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Rain gutter and drains should be cleaned annually. It is recommended that all downspouts be extended 30 inches away from the homes foundation where practical.



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**33)
Penetrations-Flashings Conditions**

Mtc

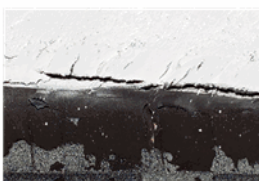
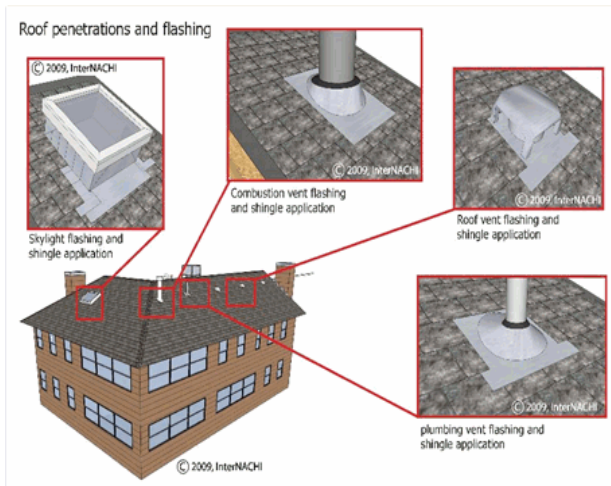
The exposed roof vent penetrations and flashings appeared to be in functional condition at the time of inspection. There were no apparent signs of water infiltration. The flashings had evidence of substandard patching and repair. Given this condition, it is likely that the roof may have leaked at one time. The inspector cannot offer an opinion as to whether the roof leaks today unless it is moderately raining at the time of inspection.

Head wall flashing at shingle roof substandard patching or repair, metallic head wall flashing not visible. Consult a licensed roofer for maintenance.

Description: A hooded metallic vent was present over the bathroom area. While typically designed for high-volume airflow and weather protection, this is an atypical residential installation.

Findings: Visible rust and evidence of repeated, substandard mastic/sealant applications indicate deferred maintenance. These "patches" are prone to failure.

Action: A licensed roofer should be consulted to evaluate the unit's integrity and provide a permanent flashing solution.



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Special Notes

Roofing Notes

Although not required to, we generally attempt to evaluate various roof types by walking on their surfaces. If we are unable or unwilling to do this for safety reason or possible physical damage to the roofing system, we will indicate the method used to evaluate them. Every roof will wear differently relative to its age, number of layers, quality of material, method of application, exposure to weather conditions, and the regularity of its maintenance. We can only offer an opinion of the general quality and condition of the roofing material at the time of inspection.

The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. The waterproof membrane beneath roofing materials is generally concealed and cannot be examined without removing the roof material. Although roof condition can be evaluated, it is virtually impossible for anyone to detect a leak except as it is occurring or by specific water tests, which are beyond the scope of our service. Even water stains on ceilings or on framing within attics will not necessarily confirm an active leak without some corroborative evidence, and such evidence can be deliberately concealed. We evaluate every roof conscientiously, and even attempt to approximate its age, but we will not predict its remaining life expectancy, or guarantee that it will not leak. Naturally, the sellers or the occupants of a residence will generally have the most intimate knowledge of the roof and of its history. Therefore, we recommend that you ask the sellers about it, and that you either include comprehensive roof coverage in your home insurance policy, or that you obtain a roof certification from an established local roofing company. We do not inspect attached accessories including but not limited to solar systems, antennae, and lightning arrestors.

10 Plumbing System

Water Main Line

34) Images



Main Shutoff

Location

#1. and #2.

The main water shutoff valve was located at the front of the home.

Main Line Material

Copper was observed exiting the soil line. Materials used underground are unknown.

35) Main Shutoff Valve Condition

Fnc #1. and #2.

The main shutoff valve was tested and found to be functional on the day of inspection. (Limited inspection due to personal items and

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pets)

36) Water Pressure Regulator

Rep

There was no water pressure regulator present and or installed. Water Pressure - High Water pressure was measured at 90 PSI (pounds per square inch) at the time of inspection. Deficiency/Recommendation (Rep): Water pressure regulators are recommended for all residential homes when pressure exceeds 70 PSI. This will help prevent over-pressurizing the plumbing system and connected appliances such as dishwashers and washing machines, potentially prolonging their lifespan and preventing leaks. It is recommended that a qualified plumber be consulted to install a pressure regulator.

Plumbing System

Plumbing Type

The visible materials used for the supply lines are copper and galvanized.

37) Plumbing System Condition

Fnc

Portions of the water distribution system pipes appeared to be galvanized and copper. Determination of the percentages of the individual pipe materials is not performed as part of the basic home inspection.

Inspector does not determine if any or all of the outdated pipes are active or abandoned. Client should request more information from seller.

The visible portions of the supply lines appeared to be in serviceable condition at the time of inspection.

All of the supply lines were not visible or accessible for inspection.

Water pressure and flow rates were satisfactory.

There were no apparent leaks present in the plumbing system at the time of inspection.

Concealed defects and deficiencies are excluded from this inspection.



Drain - Waste Lines

Drain Line Material

A mix of cast iron, galvanized and ABS piping appear to be present at the waste lines.

38) Drain Line Conditions

Rep

All drains that could be tested were inspected for connection and drain quality. Drains were free-flowing. Toilet paper is not utilized

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Not Inspected / Not Installed

during testing of the drain lines.

However, Client should note significant leaks were noted below the north unit bathroom area. See crawlspace notes.

Also see utilities/sewer line inspection notes.

11 Electrical System

Service Drop - Weatherhead

Electrical Service Type

The electrical service is overhead via public utility.

39) Electrical Service Conditions

Fnc Power is fed to the structure via overhead service utility. This is a common method for providing power to modern residential homes. The main service entry appeared to be in serviceable condition at the time of inspection.



Special Notes

Electrical Notes

While we are not licensed electricians and in accordance with the standards of practice we only test a representative number of switches and outlets and do not perform load-calculations to determine if the supply meets the demand. However, every electrical deficiency or recommended upgrade should be regarded as a latent hazard that should be serviced as soon as possible, along with evaluation and certification of the entire system as safe by a licensed electrical contractor.

Therefore, it is essential that any recommendations that we may make for service or upgrades should be completed before the close of escrow, because a licensed electrical contractor could reveal additional deficiencies or recommend additional upgrades for which we disclaim any responsibility. Any electrical repairs or upgrades should be made by a licensed electrician.

Aluminum wiring requires periodic inspection and maintenance by a licensed electrician. Smoke Alarms should be installed within 15 feet of all bedroom doors, and tested regularly.

Inoperative light fixtures often lack bulbs or have dead bulbs installed. The inspector is not required to insert any tool, probe, or testing device inside the panels, test or operate any over-current device except for ground fault interrupters, nor dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels. Any ancillary wiring or system that is not part of the primary electrical distribution system is not part of this inspection but may be mentioned for informational purposes only, including but not limited to low voltage systems, security system devices, heat detectors, carbon monoxide detectors, telephone, security, cable TV, intercoms, and built in vacuum equipment.

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12 Attic

Attic General

40) Images



Fnc = Functional | Rep = Repair / Replace | STY = Safety | Mtc = Maintenance | NI = Not Inspected / Not Installed

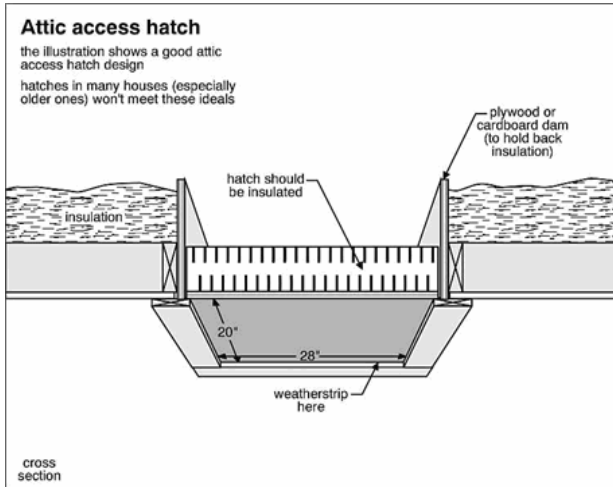
**41) Attic Entrance
Location - Condition**

NI

Attic access panel was located at unit 6521 bedroom closet. The attic access panel was operable.

Panel cover insulation was not installed. Additional insulation material at access door is recommended for energy efficiency and comfort.

Client should note that inspection of the attic is limited / restricted to the safe observable areas.



**42) Structure
Condition**

NI

The visible and accessible roof joists / rafters / roof supports and or midspan bracings were in serviceable condition. There were no abnormal signs of sagging, twisting and or damage associated with the wood framing members.

Fire/Smoke Damage: Portions of the roof framing and or decking show signs of previous smoke and/or fire-related damage. (NI)
Integrity of Repairs: While these areas may have been remodeled or rebuilt, the structural integrity or adequacy of the past repairs cannot be determined by a visual inspection alone.

Recommendation: It is recommended that the client consult the current homeowner and/or review building permits and fire insurance claims for further details regarding the scope and approval of previous repairs.

43) Moisture

Fnc

There where no apparent signs of active moisture. This is a limited visual assessment. Test equipment is not carried into the attic as it poses a safety hazard for the inspector. Old water stains were noted in the attic area. There was no moisture on the day of inspection. Observation of active leaks can only be performed during active rains. This is a limited assessment as test equipment is not carried into the attic for inspector safety.

44) Vent Screens

Fnc

Vents were provided in the attic space.

**45) Attic Insulation
Condition**

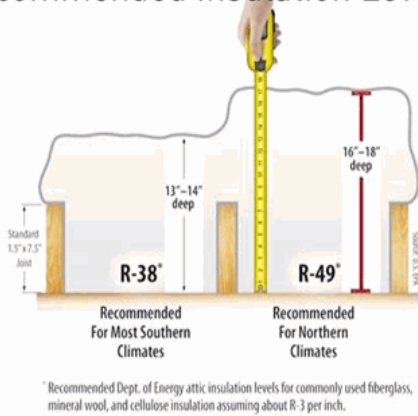
Rep

Minimal to no insulation was noted in the attic area. Proper insulation is essential for improving energy efficiency, maintaining indoor comfort, and reducing utility costs. It is recommended that the client consult with a qualified insulation professional to evaluate

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options, estimate costs, and ensure compliance with current standards and energy efficiency requirements.

Recommended Insulation Levels



46) Electrical

Fnc The visible electrical runs located in the attic area appeared in serviceable condition. Attic insulation is not disturb during this evaluation.

47) Bathroom Ventilators

Fnc There were no visible bathroom ventilators exhausting into the attic area.

48) Rodents

Fnc At the time of the inspection there were no apparent signs of recent rodent activity observed in the attic area.

49) Plumbing Pipes

Fnc A visible assessment of the attic area plumbing runs found it in satisfactory condition. On the day of the inspection.

13 Foundation - Crawl Space A

Foundation

50) Images



Fnc = Functional | Rep = Repair / Replace | STY = Safety | Mtc = Maintenance | NI = Not Inspected / Not Installed



Foundation Type Crawl Space

Foundation Material Masonry/Concrete Raised Foundation Wall

51) Foundation Walls Condition

Fnc The foundation walls were found to be in normal serviceable condition for the age of the home. There were no visible abnormal cracks or settling noted. A number of small cracks caused by curing and normal expansion and contraction of the concrete were observed. Sealing with appropriate materials recommended.

Unit 6519. Due to the limited access (obstructed by water damage), the raised foundation / crawl space area could only be inspected from the access opening area. This visual inspection was extremely limited. A proper inspection would require full access to all areas. (Please see water damage notes at moisture section)

52) Foundation Anchor Bolts

Fnc The home is bolted to the foundation. Earthquake retrofitting was observed. It is recommended client consult with current home owner for the extend of any warranties and / or general information.



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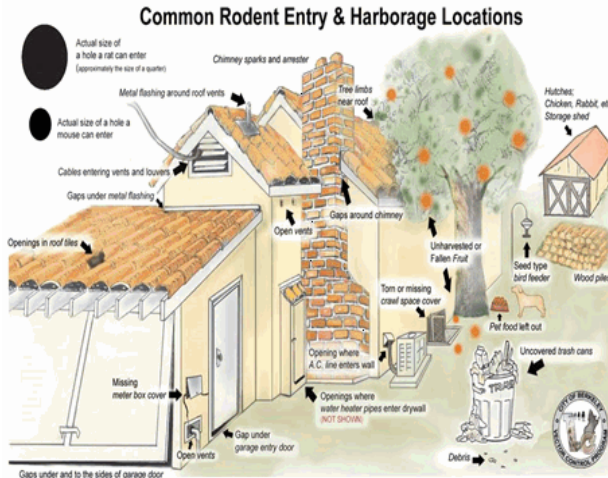
Structure

53) Access Panel and Vents

Fnc

Access. Crawl space access panel cover was in serviceable condition at the time of the inspection.

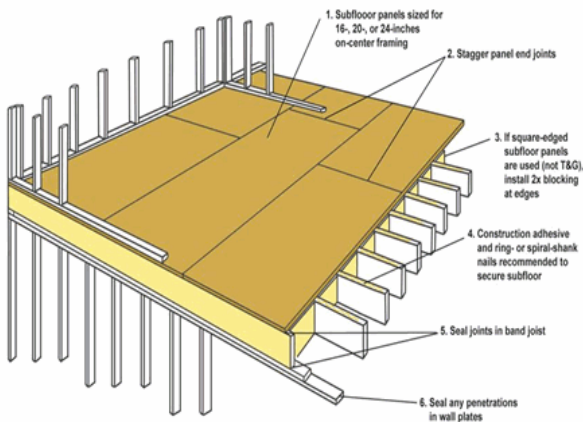
Vents. The visible foundation screens vents were found to be in satisfactory condition. Foundation screen vents help to restrict any rodent or animal activity in the crawspace.



54) Sub Floor Deck Conditions

Fnc

The visible and accessible portions of the decking appeared in functional condition, for the age of the home. Stains were noted around the bathroom and kitchen areas. Water stains are common in bathroom and kitchen decks. Moisture tests are not performed in the crawspace due to limited access.



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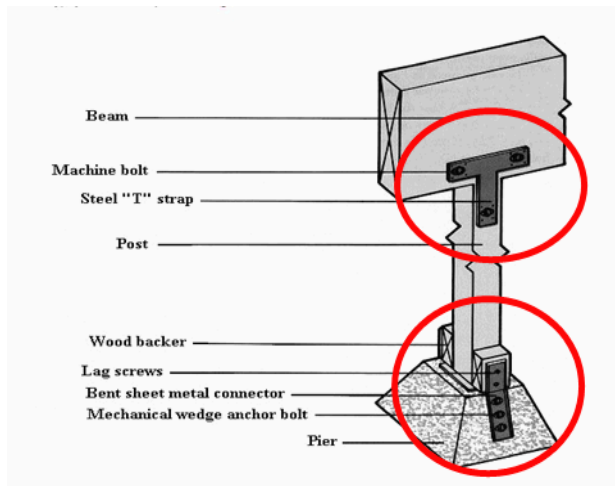
55) Post and Pier Condition

Rep

Post and pier alignment was found be in serviceable condition for the age of the home. However. Post and Pier seismic bracing is recommended for all raised foundations built prior to 1960. Seismic bracing will provide additional support during seismic activity. It is recommended client consult a licensed foundation contractor for more information on the subject. For more information on earthquake preparedness and credits visit:

<http://www2.earthquakeauthority.com/earthquakerisk/Pages/default.aspx>

Earthquake retrofitting was observed around the perimeter foundation walls. However. Client should consult a qualified earthquake retrofitting contractor for more information on post and pier seismic bracing.



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**56) Floor Joists
Girders and Beams**

Fnc

The visible floor joists / girders and or beams appeared to be in serviceable condition at the time of the inspection. There were no abnormal signs of sagging, twisting and or damage associated with the wood framing members.



**57) Plumbing
Conditions**

NI

Pipe insulation was not installed at hot water supply lines. By current standards, hot water supply pipes should be insulated to help prevent condensation of metal pipes on cool nights and drips. Recommend Installation.

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14 Foundation - Crawl Space B

Structure

58) Images



59) Electrical Conditions

Rep A number of in-line wire splices were noted in the crawlspace. It is recommended client consult a licensed electrician for evaluation and correction.
 Communication cabling should be professionally strapped to prevent damage and to allow for appropriate access to the crawlspace area for servicing and repair. What appears to be abandoned electrical wire/conduit was present in the crawlspace. Recommend removal of all abandoned electrical wiring, material or conduit. Consult a licensed electrician for evaluation and correction.

60) Moisture

Rep Moisture & Ongoing Leak: Excessive moisture and an ongoing water leak were observed. The inspector entered through the front unit access but could not crawl to the rear due to excessive wetness. Access via the rear bathroom entrance was also

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obstructed. (NI)

Source: While the exact origin was not located, the volume of water suggests a damaged supply, irrigation, or drainage pipe.

Structural Seepage: Moisture has seeped into foundation walls, post piers, and structural beams. This environment is highly conducive to wood rot, rust, and the compromise of structural integrity.

Health & Safety: Standing sewage and moisture release toxic fumes and airborne mold spores, which can migrate into the living area and cause respiratory issues, headaches, or nausea.

Mold Disclosure: A mold inspection or testing was not performed. The client declined a mold test with lab results. Further information is available at: <http://www.cdc.gov/mold/basics.htm>.

Vapor Barrier: A moisture/vapor barrier was not installed. This is recommended for energy efficiency and moisture control.

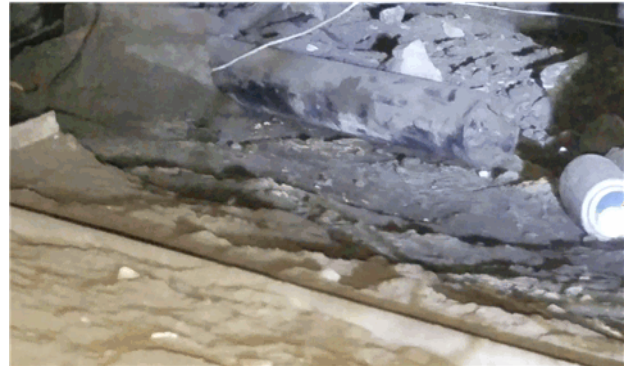
Recommendations

Remediation: Consult a qualified water damage remediation contractor to evaluate moisture/mold issues and assess soil conditions.

Plumbing: A licensed plumber should be engaged to locate and repair the active leak once the area is accessible. (Rep)



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61) Insulation

NI

No insulation was present / installed in the crawl space area. Although this may have been typical at the time of construction. It is recommended client consider insulation installation for increase energy efficiency, savings and comfort.

62) Wood Destroying Organisms - Pests

Fnc

Wood Destroying Organisms. A visible assessment of the crawlspace area found no visible evidence of termite damage in the accessible areas. Hidden evidence may exist in areas not visible or accessible. Further inspection would require destructive testing such as the removal of flooring and or wallboards, which is not performed as part of this inspection. It is recommended client consult their termite report regarding wood destroying insects and organisms.

Pests. At the time of the inspection there were no apparent signs of recent rodent or pests activity at the observed areas.

63) Cellulose - Debris Material

Mtc

Cellulose / debris, paper or wood based material was laying directly on top of soil at the sub-floor crawl space. Cellulose and debris in the crawlspace promote habitat for rodents and pests. It is recommended remove any cellulose and or debris from the crawlspace area.

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Special Notes

Raised Foundation Notes

Due to the limited height or access, the raised foundation / crawl space area can only be inspected from the accessible areas. These visual inspections are limited due to interior of crawlspace condition. A proper inspection would require full access to all areas. All structures are dependent on the soil beneath them for support, but soils are not uniform. Some that appear to be firm and solid can become unstable during seismic activity or may expand with the influx of water, moving structures with relative ease and fracturing slabs and other hard surfaces. In accordance with our standards of practice, we identify foundation types and look for any evidence of structural deficiencies. However, minor cracks or deteriorated surfaces are common in many foundations and most do not represent a structural problem. If major cracks are present along with bowing, rolling and bulging we routinely recommend further evaluation be made by a qualified structural engineer or foundation specialist.

All exterior grades should allow for surface and roof water to flow away from the foundation walls. All concrete floor slabs experience some degree of cracking due to shrinkage in the curing process. In most instances floor coverings prevent recognition of cracks or settlement in all but the most severe cases. Where carpeting and other floor coverings are installed, the materials and condition of the flooring underneath cannot be determined. Areas hidden from view by finished walls or stored items cannot be judged and are not a part of this inspection. We will certainly alert

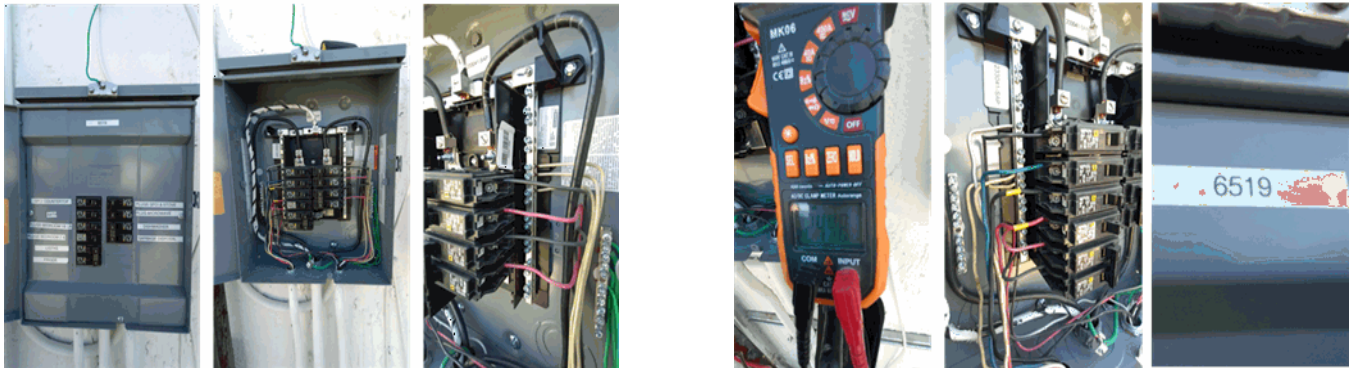
Fnc = Functional | Rep = Repair / Replace | STY = Safety | Mtc = Maintenance | NI = Not Inspected / Not Installed

you to any suspicious cracks if they are clearly visible. However, we are not specialists, and in the absence of any major defects, we may not recommend that you consult with a foundation contractor, a structural engineer, or a geologist, but this should not deter you from seeking the opinion of any such expert. We also routinely recommend that inquiry be made with the seller about knowledge of any prior foundation or structural repairs.

15 Unit 1
16 Unit 6519
17 Electrical System Subpanel 1

Distribution Electrical Panel

64) Images.



Main Disconnect Location

The main service disconnect switch is located at the main electrical panel.

Electric Panel Manufacturer

The main electrical panel was manufactured by Square D Corporation.

Panel Amperage Rating

The main electrical panel is rated for 120/240 volts, 70 Amps.

Circuit Protection Type

Magnetic trip circuit breaker.

65) Electrical Panel Conditions

Fnc This sub-panel was located at the rear wall at the exterior. The units electrical subpanel appeared to be in normal operable condition, there was no visible evidence of overheating, corrosion or damage at the time of the inspection. Voltage was tested and well within guidelines.

66) Wiring Methods

Fnc The main power cable is copper. Copper nonmetallic sheathed cable also referred to as Romex was utilized at the panel for branch circuits were visible. Materials used at the interior of the walls was not visible.

[The property contains older armored BX wiring, visible in branch circuits at the crawlspace or attic. BX wiring, typical in homes from](#)

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the 1950s, often exhibits aged insulation that may become brittle and prone to cracking, increasing the risk of short circuits. Moisture exposure can lead to corrosion, further compromising the integrity of the wiring. Additionally, older BX systems frequently lack a dedicated grounding wire, heightening the risk of electrical shock and reducing safety. The design may also contribute to overheating, posing a fire hazard. Furthermore, these installations generally do not meet current electrical codes, which may complicate upgrades or renovations. Evaluation by a licensed electrician is strongly recommended to assess the wiring's condition and recommend corrective measures if needed.

67) AFCI Circuit Breakers

NI

AFCI circuit breakers were not present. AFCI circuit breakers help to prevent electrical fires caused by arc fault conditions at bedroom receptacles. Conventional circuit breakers only respond to overloads and short circuits; so they do not protect against arcing conditions that produce erratic, and often reduced current. **AFCI circuit breakers are a modern requirement for new construction, upgrades and or where branch circuit wiring is modified, replaced, or extended, for all bedroom and similar receptacle circuits. Consult a License Electrician for local requirements.**

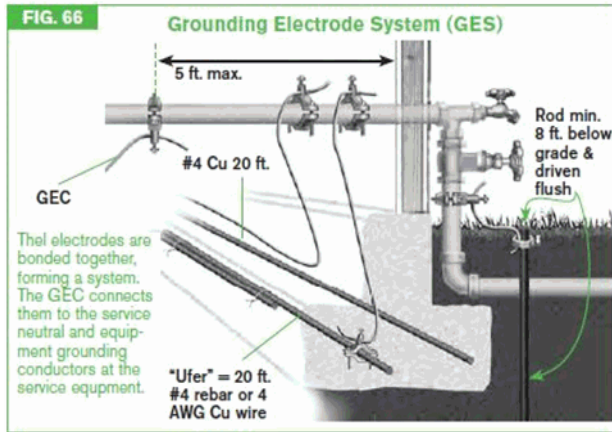


68) Cold Water Clamp - Ground Rod Connection

Fnc

The ground clamp to the ground rod connection was secured in place. There were no signs of rust or corrosion. Grounding continuity tests are not perform as part of the basic home inspection.

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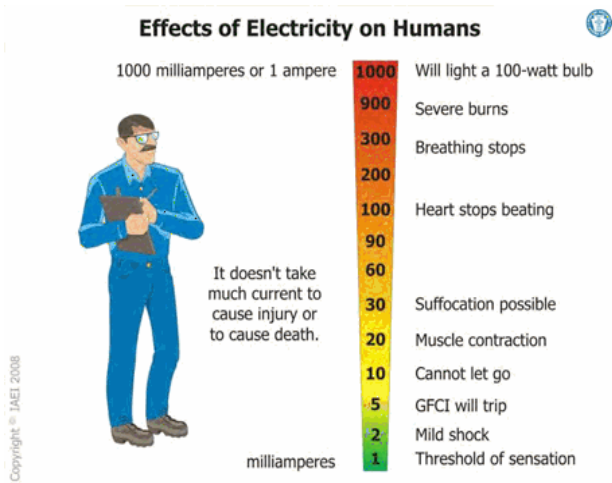
69) Exterior Lighting - Receptacles

STY

Exterior Lighting. Exterior lighting that could be tested was found to be functional. It is recommended that all exterior light fixtures be properly sealed to the structure. Rear door exterior lighting was missing. Open junction box. Client should consult a license electrician for lighting replacement.

Exterior Receptacles.

There was no visible convenience receptacle outlet. It is a modern requirement that any balcony deck or porch accessible from the interior of the dwelling unit. Be provided with a convenience receptacle outlet. It is a modern requirement that all exterior receptacles be GFCI protected for occupant's safety. Weatherproof covers are also required for receptacles in wet locations.



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Special Notes

Electrical Notes

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18 Plumbing WH 1

Water Heater(s)

70) Images.

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Water Heater Type

Gas-fired, storage tank.

Water Heater Location

Water heater is located at exterior water heater cabinet.

71) Water Heater Performance - Condition

Mtc Hot water heater was found to be functional on the day of the inspection. Output temperatures were satisfactory. There were no visible signs of leaks, rust or corrosion at the time of inspection. **Hot water heater temperature was measure at 145°. We recommend a temperature setting of 120°F or less. Water temperatures over 125°F can cause severe burns instantly or death from scalds. Note: Households with small children or invalids may require a 120°F or lower temperature setting to prevent accidental contact with HOT water.**

72) Water Heater Capacity - Cabinet

Fnc Water Heater Capacity. The hot water heater for the home is 40 gallons. Based on the national water heater capacity charts it is satisfactory.

Combustion air venting. Was found to be satisfactory.

Manufacture stamp date 24 January 2025. Based on the manufacturer's suggested service life, the life expectancy of a water heater is about 8 to 12 years. That varies with the location and design of the unit, quality of installation, maintenance schedule and water quality.

73) Water Heater Exhaust Stack Vent

Fnc The visible and accessible portions of the venting flue pipe appeared to be in serviceable condition at the time of the inspection.

74) Water Heater Supply Lines and Shutoff Valve

Mtc Hot water heater supply lines were in functional condition. **Insulation is recommended at supply lines. This will help prevent condensation calcium and corrosion.**

The water heater cold water shutoff valve appeared in functional condition.

Fnc = Functional | Rep = Repair / Replace | STY = Safety | Mtc = Maintenance | NI = Not Inspected / Not Installed

75) Temperature Pressure Relief Valve- Discharge Line

Rep

Temperature and pressure relief valve was in satisfactory condition. However the discharge overflow pipe was not extended to the exterior. Recommend installation of an extension pipe for increased safety. Client should consult a licensed plumber for additional information.

76) Water Heater Seismic Straps

Fnc

The hot water heater was properly braced. Seismic straps were installed both top and bottom according to manufacturers guidelines.

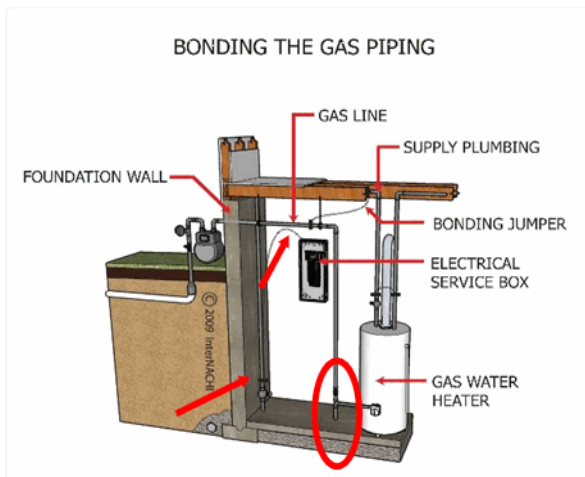
77) Shutoff Gas Valve, Line and Drip Leg

Rep

Shutoff Gas Valve, Gas Line. Were present. There were no apparent gas leaks at gas appliance connections. The gas supply must have a readily accessible shutoff valve adjacent to the water heater ahead of the flex connector. Flex connectors cannot be used in any concealed locations, cannot pass through any walls, floors or ceilings.

A drip leg (sediment trap) at the gas line connection was missing / not installed. It is recommended client consult their local utility provider / license plumber for local installation requirements.

Pipe bonding between water supply line and gas line was not visible / installed. Therefore it could not be inspected. Ideally, current standards require a simple jumper wire across.

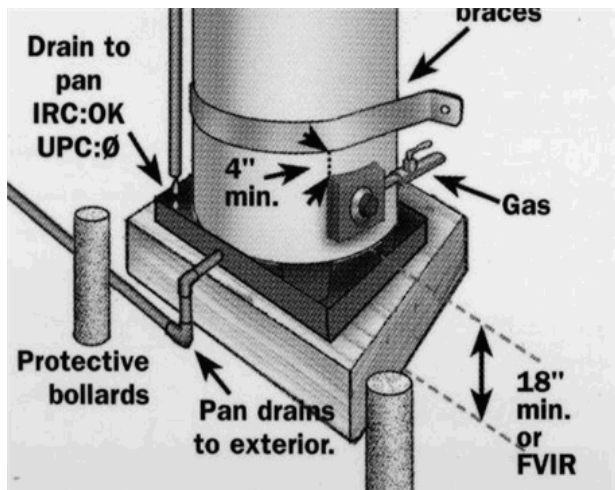


78) Drip Pan

Rep

Drip pans are recommended below all hot water heaters. Drip pans should drain to the exterior. This will help contain leaks and prevent water damage.

Fnc = Functional | Rep = Repair / Replace | STY = Safety | Mtc = Maintenance | NI =
Not Inspected / Not Installed



Special Notes

Plumbing Notes

The home inspector in no way can determine the condition of plumbing pipes that are concealed in walls cavities and below grade. The home inspector will do his best to describe what type systems are visibly present. The home inspector will not determine the percentage of copper versus galvanized in a home that has been re-piped. If the home inspector diagnose the system as no apparent leaks on the day of inspection. This does not mean that there are not leaks present. It only means that there were no leaks visibly apparent the day of the inspection. Destructive evaluation of the plumbing system is not allowed during a basic home inspection.

Modern plumbing system will utilize PEX tubing. This tubing functions under certain water pressure and temperatures that help to prevent leaks. It is important to maintain proper water pressure levels along with hot water heater temperatures. Client should seek the assistance of a licensed plumber if higher hot water temperature is desired in the home.

The plumbing inspection is not a guarantee or warranty against future leaks, clogs or predictions of the future performance of the plumbing systems. It is merely a snapshot of the functionality of the primary plumbing system on the day of inspection.

19 HVAC - Furnace 1

Heating

79) Images.

Fnc = Functional | Rep = Repair / Replace | STY = Safety | Mtc = Maintenance | NI = Not Inspected / Not Installed



Furnace Location

The gas furnace is located on the main floor of the home.

Distribution Type

Direct heating unit

80) Thermostat Condition

NI

The thermostat. Could not be tested. The pilot light / Furnace unit was not functional. Further evaluation is recommended. Evaluating the calibration of the thermostat is outside the scope of the general home inspection.

81) Furnace Performance

NI

Gas furnace pilot was not lit. The inspector was unable to inspect. Repairs, modifications and / or adjustments of any type are prohibited by the inspector. If pilots are off, a full inspection is not possible. It is suggested that the heating systems be activated and fully inspected by a license HVAC contractor prior to close of this property. The equipment must have the capability of providing heat to at least 68 degrees Fahrenheit.

It should note that unit show signs of deferred maintenance. General servicing is recommended before relighting or testing.

Combustion air venting. Appeared to be in satisfactory. The screen should be free of debris for appropriate airflow.

The Unit's manufacturer data sheet was not present / or legible. The average life span of central air-conditioning system is 12- to 20-years. That varies with the unit's location and design, quality of installation and maintenance schedule. Heat pumps have about the same life-span - about 15 years - when recommended maintenance is followed. Beyond manufacturer's life expectancy. Client should consider the cost of updates and or replacements.

82) Heater Exhaust Stack Vent

NI

Furnace Heater Exhaust Pipe. Furnace failed to perform. Therefore unit could not be tested. Recommend further evaluation.

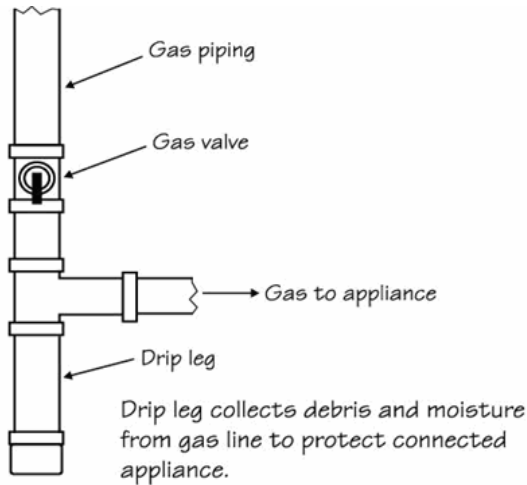
Fnc = Functional | Rep = Repair / Replace | STY = Safety | Mtc = Maintenance | NI = Not Inspected / Not Installed

83) Shutoff Gas Valve, Line and Drip Leg

Rep

Shutoff Gas Valve, Line. Were present. *Could not be tested. The pilot light was not lit for inspection. Consult the local gas authority to light the pilot and test the Gas furnace for functionality.*

A drip leg (sediment trap) at the gas line connection was missing, it is recommended client consult their local utility provider / license plumber for local installation requirements.



84) Distribution Conditions

NI

Wall gas heating units are most useful for heating one single location. When heating several rooms additional methods are recommended.

20 HVAC - Air 1

Air Condition - Cooling

85) Images.

Type of Cooling System: None present.

86) AC Condenser

NI

There was no visible cooling system for the home. Client should consider the cost of upgrades.

87) AC Evaporator

Fnc

Not applicable.

88) Drip Pan & Condensation Lines

Fnc

Not applicable.

Special Notes

HVAC Notes

The inspector can only readily open or access panels provided by the manufacturer or installer for routine homeowner maintenance, and will not operate components when weather conditions or other circumstances apply that may cause equipment damage. The inspector does not light pilot lights or ignite or extinguish solid fuel fires, nor are safety devices tested by the inspector. The inspector is not equipped to inspect furnace heat exchangers for evidence of cracks or holes, or inspect concealed portions of evaporator and condensing coils, heat exchanger or firebox, electronic air filters, humidifiers and de-humidifiers, ducts and in-line duct motors or dampers, as

Fnc = Functional | Rep = Repair / Replace | STY = Safety | Mtc = Maintenance | NI = Not Inspected / Not Installed

this can only be done by dismantling the unit or external components. This is beyond the scope of this inspection. Thermostats are not checked for calibration or timed functions. Adequacy, efficiency or the even distribution of air throughout the structure cannot be determined by a visual inspection. However these items can help with overall efficiency and should be evaluated by a qualified individual. The inspector does not perform pressure tests on coolant systems, therefore no representation is made regarding refrigerant charge or line integrity.

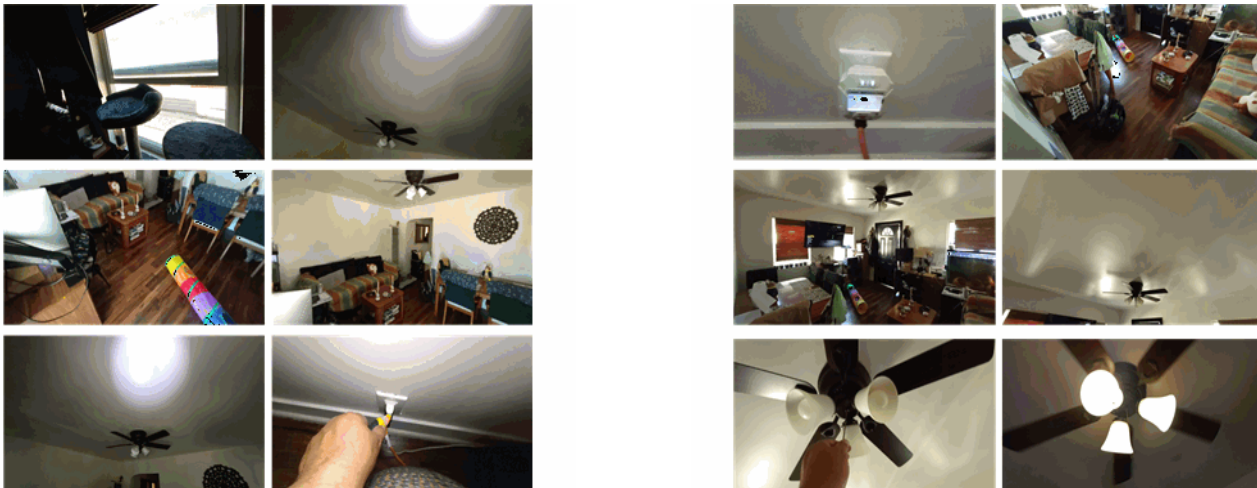
We perform a conscientious evaluation of the system, but we are not HVAC contractors. Please note that even modern heating systems can produce carbon monoxide, which in a poorly ventilated room can result in sickness and even death. Therefore, it is essential that any recommendations we make for service or further evaluation be scheduled before the close of escrow, because a specialist could reveal additional defects or recommend further upgrades that could affect your evaluation of the property, and our service does not include any form or warranty or guarantee. Normal service and maintenance is recommended on a bi-yearly basis. As part of your basic home maintenance plan. Determining the presence of asbestos materials commonly used in heating systems can ONLY be performed by laboratory testing and is beyond the scope of this inspection.

21 Living - Dining – Areas 1

Living - Dining – Areas

89) Room

Images.



90) Floors Condition

Fnc Living - Dining - Areas. The general condition of the visible and accessible portions of the floors appeared to be in serviceable condition at the time of the inspection.

91) Walls Condition

Fnc Living - Dining - Areas. Walls were in serviceable condition. There were no significant signs of defects or deficiencies noted.

92) Ceilings Conditions

Fnc Living - Dining - Areas. Ceilings were in serviceable condition. There were no significant signs of defects or deficiencies noted.

93) Windows Condition

Fnc Living - Dining - Areas. The general condition of the visible and accessible windows appeared serviceable at the time of the inspection. Windows that could be tested were found to operate normally.

Fnc = Functional | **Rep** = Repair / Replace | **STY** = Safety | **Mtc** = Maintenance | **NI** =
Not Inspected / Not Installed

94) Doors Condition

Fnc

Living - Dining - Areas. The general condition of the visible and accessible doors appeared serviceable at the time of the inspection. Doors that could be tested were found to operate normally.

95) Lights and Switches

Fnc

Living - Dining - Areas. Lights and switches that were tested were found to be functional with appropriate cover plates installed.

96) Receptacle Outlets

Fnc

Living - Dining - Areas. Tested receptacles were found to be functional on the day of the inspection.
All receptacles more than 10 years old should be updated to modern tamper-resistant receptacles for occupant safety.

Interior Special Notes**Special Notes**

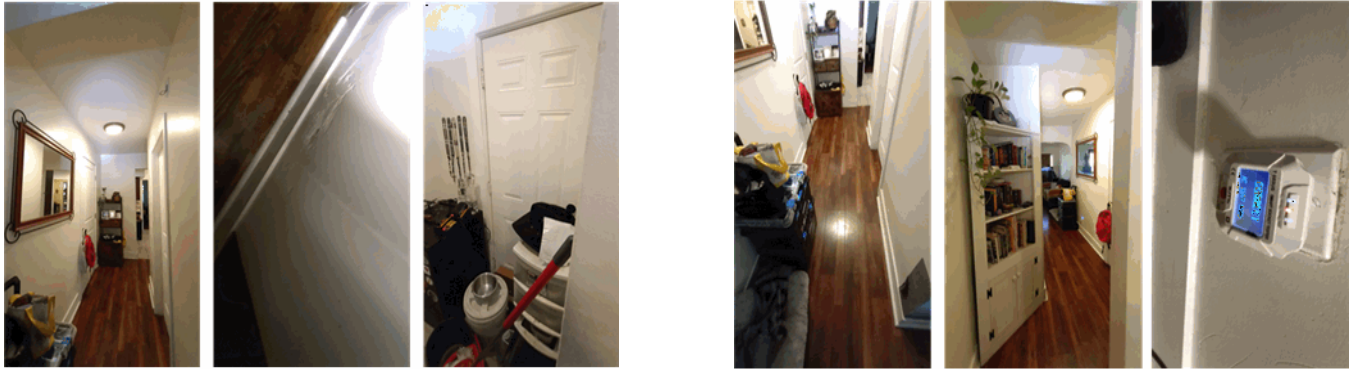
Our inspection of living space includes the visually accessible areas of walls, floors, cabinets and closets, and the testing of a representative number of windows and doors, switches and outlets. We do not evaluate window treatments, move furnishings or possessions, lift carpets or rugs, empty closets or cabinets, nor comment on cosmetic deficiencies. We may not comment on cracks that appear around windows and doors, along lines of framing members or along seams of drywall and plasterboard. These are typically caused by minor movement, such as wood shrinkage, common settling, and seismic activity, and will often reappear if they are not correctly repaired. Such cracks can become the subject of disputes, and are therefore best evaluated by a specialist. Floor covering damage or stains may be hidden by furniture, and the condition of floors underlying floor coverings is not inspected. Determining the condition of insulated glass windows is not always possible due to temperature, weather and lighting conditions. Check with owners for further information and disclosures. All fireplaces should be cleaned and inspected on a regular basis to make sure that no cracks have developed. Large fires in the firebox can overheat the firebox and flue liners, sometimes resulting in internal damage.

Testing, identifying, or identifying the source of environmental pollutants or odors (including but not limited to lead, mold, allergens, odors from household pets and cigarette smoke) is beyond the scope of our service, but can become equally contentious or difficult to eradicate. We recommend you carefully determine and schedule whatever remedial services may be deemed advisable or necessary before the close of escrow.

22 Halls 1**Halls****97) Halls**

Images.

Fnc = Functional | Rep = Repair / Replace | STY = Safety | Mtc = Maintenance | NI = Not Inspected / Not Installed



98) Floors Condition

Fnc

Halls. The general condition of the visible and accessible portions of the floors appeared to be in serviceable condition at the time of the inspection.

99) Walls Condition

Mtc

Halls. Walls were in serviceable condition throughout. [Pet related damage was noted at the wall. Recommend repair.](#)

100) Ceilings Conditions

Fnc

Halls. Ceilings were in serviceable condition throughout. There were no significant signs of defects or deficiencies noted.

101) Doors Condition

Fnc

Halls. The general condition of the visible and accessible doors appeared serviceable at the time of the inspection.

102) Lights and Switches

Fnc

Halls. Lights and switches that were tested were found to be functional with appropriate cover plates properly installed.

103) Receptacle Outlets

Fnc

Halls. Tested receptacles were found to be functional. All receptacles more than 10 years old should be updated to modern tamper-resistant receptacles for occupant safety.

23 Carbon Monoxide & Smoke Detectors 1

Carbon Monoxide & Smoke Detectors

104) Images

Fnc = Functional | Rep = Repair / Replace | STY = Safety | Mtc = Maintenance | NI = Not Inspected / Not Installed

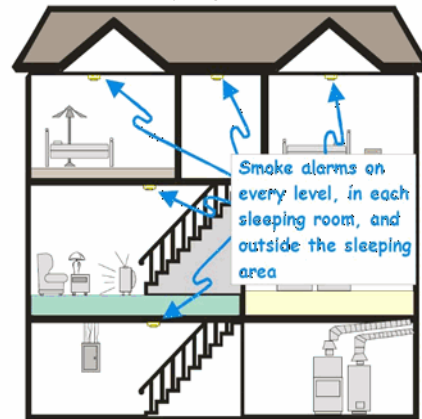
SMOKE ALARMS SAVE LIVES

MAKE SURE YOUR SMOKE ALARMS PERFORM AS INTENDED
- WHEN YOU NEED THEM THE MOST

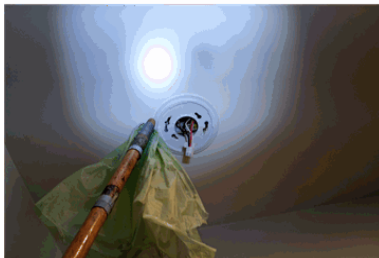
- **TEST** smoke alarms monthly
- Change the **BATTERIES** every year
- Beware of **CHIRPING** smoke alarms - it's time to replace the batteries
- Replace older smoke alarms - **REPLACE** alarms that are more than 10 years old
- Know the **SOUND** of the smoke alarm and what to do if the alarm goes off



REMEMBER, ONLY WORKING SMOKE ALARMS CAN SAVE YOUR LIFE!



Replace batteries every year
Replace smoke alarms every 10 years



105) Main-Hallway Outside Sleeping Quarters

STY

Main-Hallway Outside Sleeping Quarters. Carbon monoxide/smoke detectors outside sleeping quarters were not present. CO/smoke detectors should be installed according to manufacturers installations.

Smoke and carbon monoxide detectors should be replaced every 10 years. Re-test detectors every month for safety.

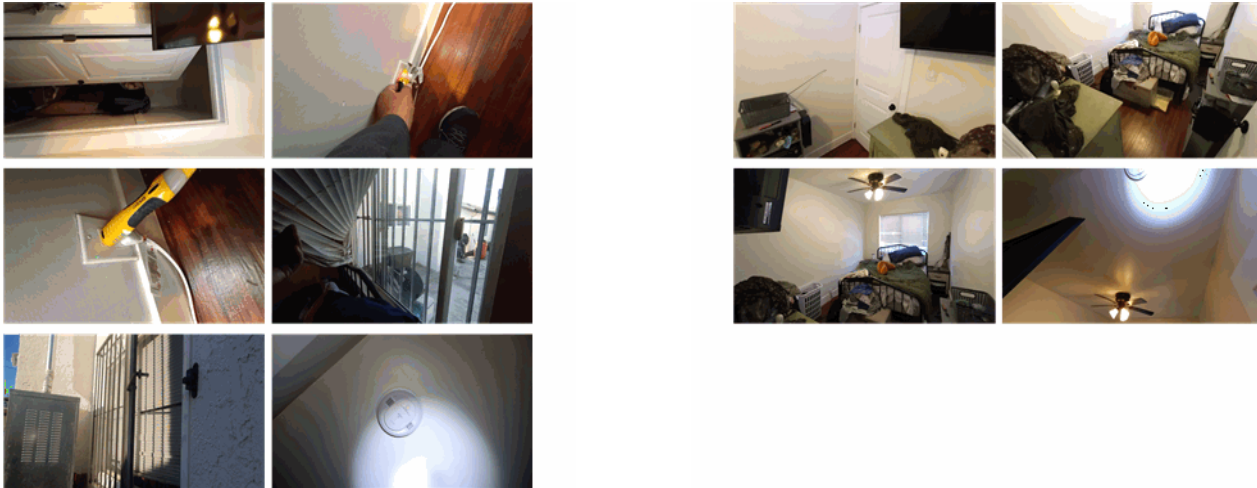
24 Bedrooms No 1 Unit 1

Bedroom #1

106) Bedroom #1.

Images.

Fnc = Functional | Rep = Repair / Replace | STY = Safety | Mtc = Maintenance | NI = Not Inspected / Not Installed



107) Interior Smoke Detector

Fnc

Bedroom #1. Smoke detector was present and functional. Smoke detectors should be replace every 10 years. Re-test detectors every month for safety.

108) Floors Condition

Fnc

Bedroom #1. The general condition of the visible and accessible portions of the floors appeared to be in serviceable condition at the time of the inspection.

109) Walls Condition

Fnc

Bedroom #1. Walls were in serviceable condition. There were no significant signs of defects of deficiencies noted.

110) Ceilings Conditions

Fnc

Bedroom #1. Ceilings were in serviceable condition. There were no significant signs of defects of deficiencies noted.

111) Windows Condition

Fnc

Bedroom #1. The general condition of the visible and accessible windows appeared serviceable at the time of the inspection. Windows that could be tested were found to operate normally.

Security Bars quick release mechanism was tested (by way of tenant). Quick release mechanism was functional on the day of the inspection. This is not an indication of future conditions.

112) Doors Condition

Fnc

Bedroom #1. The general condition of the visible and accessible doors appeared serviceable at the time of the inspection. Doors that could be tested were found to operate normally.

113) Lights and Switches

Fnc

Bedroom #1. Lights and switches that were tested were found to be functional with appropriate cover plates installed.

114) Receptacle Outlets

Fnc

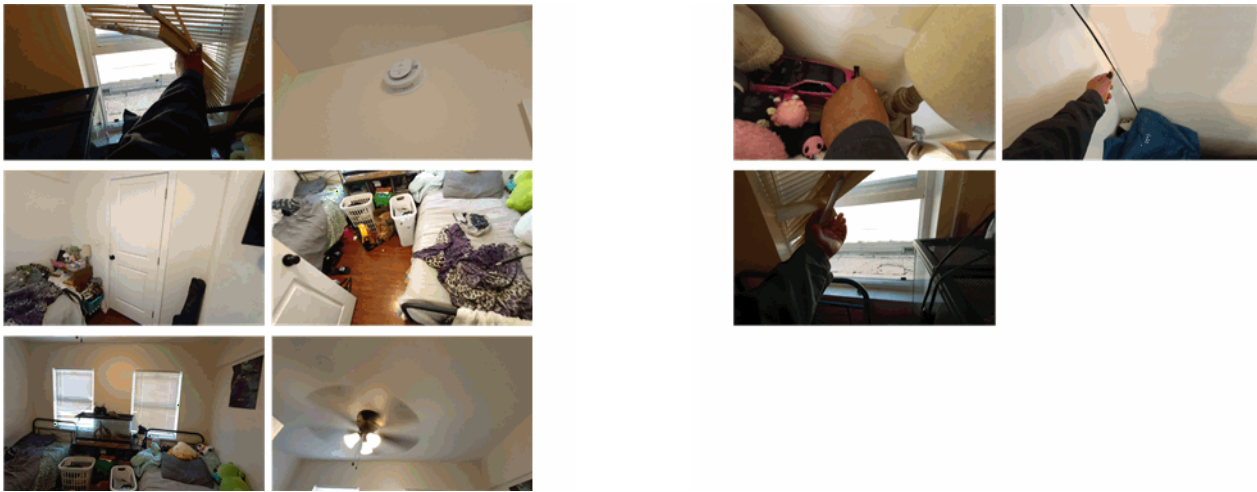
Bedroom #1. Tested receptacles were found to be functional on the day of the inspection. All receptacles more than 10 years old should be updated to modern tamper-resistant receptacles for occupant safety.

Fnc = Functional | Rep = Repair / Replace | STY = Safety | Mtc = Maintenance | NI = Not Inspected / Not Installed

Bedroom #2

115) Bedroom #2.

Images.



116) Interior Smoke Detector

Fnc

Bedroom #2. Smoke detector was present and functional. Smoke detectors should be replaced every 10 years. Re-test detectors every month for safety.

117) Floors Condition

Fnc

Bedroom #2. The general condition of the visible and accessible portions of the floors appeared to be in serviceable condition at the time of the inspection.

118) Walls Condition

Fnc

Bedroom #2. Walls were in serviceable condition. There were no significant signs of defects or deficiencies noted.

119) Ceilings Conditions

Fnc

Bedroom #2. Ceilings were in serviceable condition. There were no significant signs of defects or deficiencies noted.

120) Windows Condition

Fnc

Bedroom #2. The general condition of the visible and accessible windows appeared serviceable at the time of the inspection. Windows that could be tested were found to operate normally.

121) Doors Condition

Fnc

Bedroom #2. The general condition of the visible and accessible doors appeared serviceable at the time of the inspection. Doors that could be tested were found to operate normally.

122) Lights and Switches

Fnc

Bedroom #2. Lights and switches that were tested were found to be functional with appropriate cover plates installed.

123) Receptacle Outlets

NI

Bedroom #2. Inspector could not locate an accessible outlet / switch for inspection. Recommend further evaluation. Convenience extension cord current was present.

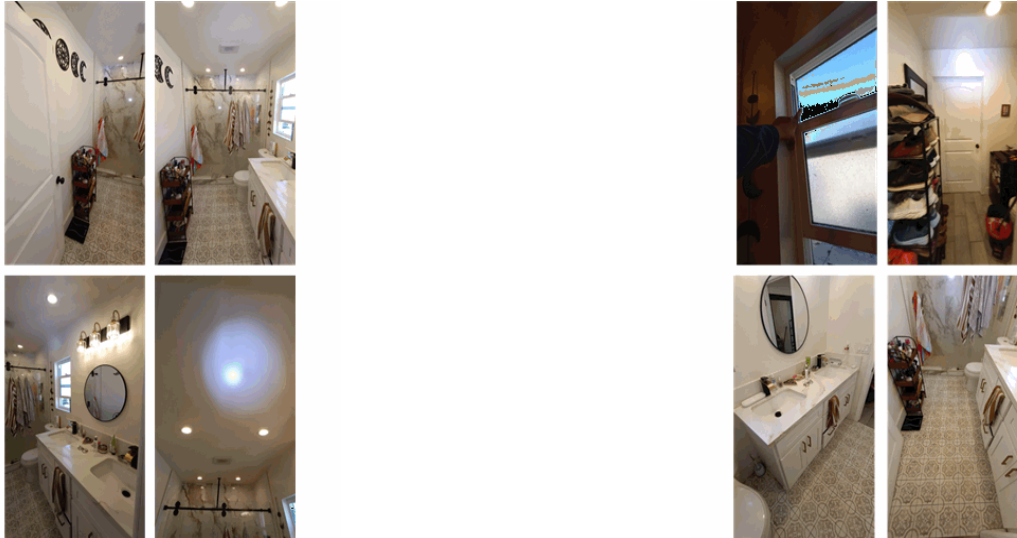
All receptacles more than 10 years old should be updated to modern tamper-resistant receptacles for occupant safety.

Fnc = Functional | Rep = Repair / Replace | STY = Safety | Mtc = Maintenance | NI = Not Inspected / Not Installed

26 Bath #1 A Unit 1

Bath #1 Floors - Walls - Ceilings

124) Images.



125) Floors

Fnc

Bathroom #1. The general condition of the visible and accessible portions of the floors appeared to be in serviceable condition at the time of the inspection.

126) Wall Conditions

Fnc

Bathroom #1. The general condition of the walls appeared to be in serviceable condition at the time of the inspection.

127) Ceilings Conditions

Fnc

Bathroom #1. The general condition of the ceilings appeared to be in serviceable condition at the time of the inspection.

128) Windows Condition

Rep

Bathroom #1. The general condition of the visible and accessible windows appeared serviceable at the time of the inspection. [Window rail defect was noted. It is recommended client consult a licensed window contractor for cost of repair / replacement.](#)

129) Door Conditions

Fnc

Bathroom #1. The general condition of the visible and accessible doors appeared serviceable at the time of the inspection.

27 Bath #1 B Unit 1

Bath #1 General

130) Images.

Fnc = Functional | **Rep** = Repair / Replace | **STY** = Safety | **Mtc** = Maintenance | **NI** = Not Inspected / Not Installed



131) Sink and Plumbing

Fnc Bathroom #1.

Left Sink (1) was operational showing signs of average daily use. Faucet was functional. Hot and cold running water was present. Drain assemblies were functional with no signs of active leaks.

Right Sink (2) was operational showing signs of average daily use. Faucet was functional. Hot and cold running water was present. Drain assemblies were functional with no signs of active leaks.

132) Counter-tops & Cabinets

Fnc Bathroom #1. The visible portions of the bath counters appeared to be in serviceable condition at the time of the inspection. The bath cabinets appeared to be in serviceable condition showing signs of average daily use. Doors and drawers function normally.

133) Toilet

Fnc Bathroom #1. Toilet was tested and found to be functional on the day of the inspection.



134) Tub and Showers

Mtc Bathroom #1. Shower. Shower head and wand. Hot and cold running water was present.

Fnc = Functional | Rep = Repair / Replace | STY = Safety | Mtc = Maintenance | NI = Not Inspected / Not Installed

Drainage was functional. However. The shower was slow to drain. Likely the result of a local clog. Recommend drain cleaning. Tub and shower were in serviceable condition showing signs of normal use. General caulking / sealing is recommended throughout.



135) Image



136) Lights and Switches

Fnc Bathroom #1. Lights and switches that were tested were found to be functional with appropriate cover plates properly installed.

137) Mechanical Exhaust

Rep Bathroom #1. The exhaust fan did not operate or was disconnected in bath. It is recommended client consult a licensed electrician for troubleshooting.

138) GFCI Outlets

Fnc Bathroom #1. GFCI receptacle was present and functional.

28 Kitchen Sec A Unit 1

Floors - Walls - Ceilings

139) Kitchen Sec A Images.

Fnc = Functional | Rep = Repair / Replace | STY = Safety | Mtc = Maintenance | NI = Not Inspected / Not Installed



140) Floors Condition

Fnc Kitchen. The general condition of the visible and accessible portions of the floors appeared to be in serviceable condition at the time of the inspection.

141) Walls Condition

Fnc Kitchen. Walls were in serviceable condition throughout. There were no significant signs of defects or deficiencies noted.

142) Ceilings Conditions

Fnc Kitchen. Ceilings were in serviceable condition throughout. There were no significant signs of defects or deficiencies noted.

143) Windows Condition

Fnc Kitchen. The general condition of the visible and accessible windows appeared serviceable at the time of the inspection.

29 Kitchen Sec B Unit 1

Kitchen Sink - Counter-tops - Cabinets

144) Images.



Fnc = Functional | Rep = Repair / Replace | STY = Safety | Mtc = Maintenance | NI = Not Inspected / Not Installed

145) Counter-tops Conditions

Fnc

The visible portions of the kitchen counters appeared to be in serviceable condition at the time of the inspection. Moderate everyday common wear and tear of daily use was present.

146) Cabinets Conditions

Fnc

The kitchen cabinets appeared to be in normal serviceable condition for the age of the home. Doors and drawers function normally. Moderate everyday common wear and tear of daily use was present.

147) Sink - Plumbing Conditions

Fnc

The kitchen sink was in functional condition. Faucet was operational. Hot and cold running water was present. Drain assemblies functioned normally with no signs of active leaks.



148) Garbage Disposal Condition

Fnc

Garbage disposal was tested and found to be functioning normally on the day of the inspection.

30 Kitchen Sec C Unit 1

Electrical Conditions

149) Images



150) Lights and Switches

Fnc

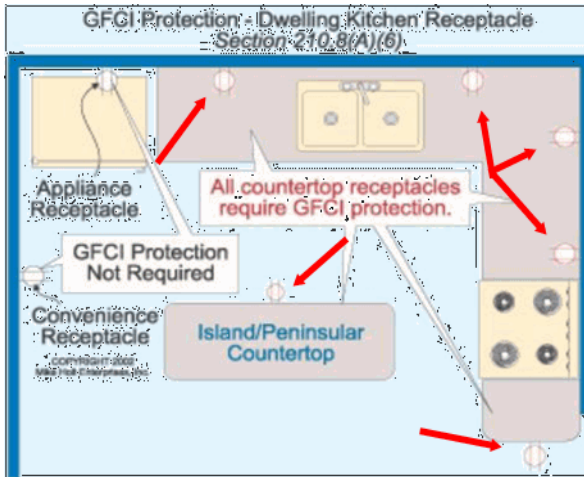
Lights and switches that were tested were found to be functional with appropriate cover plates properly installed.

Fnc = Functional | Rep = Repair / Replace | STY = Safety | Mtc = Maintenance | NI = Not Inspected / Not Installed

151) GFCI Receptacle Outlets Condition

Fnc

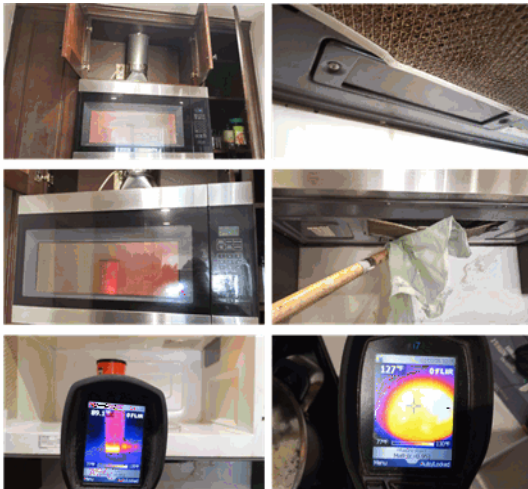
GFCI receptacle outlets that could be tested were found to be functional.



31 Kitchen Sec D Unit 1

Appliances

152) Images.



Fnc = Functional | Rep = Repair / Replace | STY = Safety | Mtc = Maintenance | NI = Not Inspected / Not Installed



153) Mechanical Exhaust-Vent Hood Conditions

Mtc

The combination microwave and vent hood were tested by way of normal operating controls. Exhaust-Vent Hood was found to be functional.

Note that the exhaust vent filter appears to be in poor condition. Recommend replacements.

A light bulb (s) was out, missing or inoperative. Recommend replace light bulbs and retest.

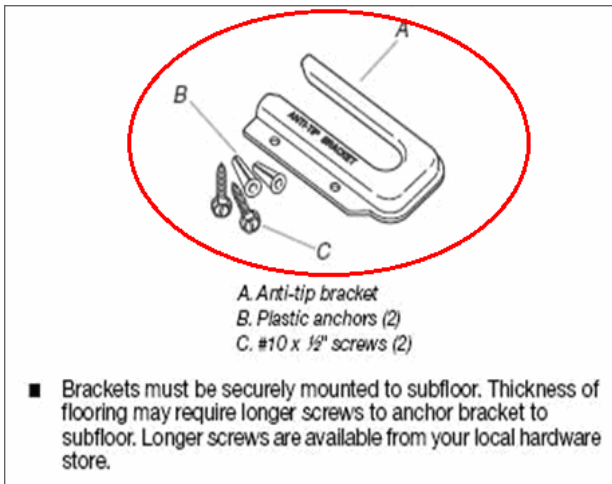
154) Stove - Range Conditions

NI

The gas range was tested by way of normal operating controls. It was found to be functional.

Gas has been provided for stove/range connection. There were no apparent signs of gas leaks from this appliance.

Personal items obstructed testing of the anti-tip bracket safety device. It is recommended client consult with an appliance technician for further evaluation of anti-tip safety device.



155) Oven Condition

NI

A full evaluation of the oven was not made due to personal items located at the interior. Personal items are not removed or disturbed during the home inspection. Further evaluation is recommended.

156) Dishwasher Conditions

Fnc

Dishwasher was tested and was found to be functional on the day of the inspection.

Fnc = Functional | Rep = Repair / Replace | STY = Safety | Mtc = Maintenance | NI = Not Inspected / Not Installed

157) Other Appliance

Fnc Refrigerator was present and appeared to be functioning normally.

32 Unit 2
33 Unit 6521
34 Electrical System Subpanel 2

Distribution Electrical Panel

158) Images.



Main Disconnect Location
Electric Panel Manufacturer
Panel Amperage Rating
Circuit Protection Type

The main service disconnect switch is located at the main electrical panel.
The main electrical panel was manufactured by Square D Corporation.
The main electrical panel is rated for 120/240 volts, 100 Amps.
Magnetic trip circuit breaker.

Fnc = Functional | Rep = Repair / Replace | STY = Safety | Mtc = Maintenance | NI = Not Inspected / Not Installed

159) Electrical Panel Conditions

Fnc

This sub-panel was located at the rear wall at the exterior. The units electrical subpanel appeared to be in normal operable condition, there was no visible evidence of overheating, corrosion or damage at the time of the inspection. Voltage was tested and well within guidelines.

160) Wiring Methods

Fnc

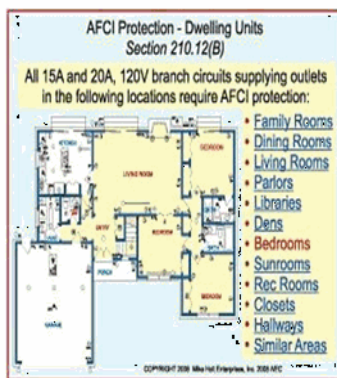
The main power cable is copper. Copper nonmetallic sheathed cable also referred to as Romex was utilized at the panel for branch circuits were visible. Materials used at the interior of the walls was not visible.

The property contains older armored BX wiring, visible in branch circuits at the crawlspace or attic. BX wiring, typical in homes from the 1950s, often exhibits aged insulation that may become brittle and prone to cracking, increasing the risk of short circuits. Moisture exposure can lead to corrosion, further compromising the integrity of the wiring. Additionally, older BX systems frequently lack a dedicated grounding wire, heightening the risk of electrical shock and reducing safety. The design may also contribute to overheating, posing a fire hazard. Furthermore, these installations generally do not meet current electrical codes, which may complicate upgrades or renovations. Evaluation by a licensed electrician is strongly recommended to assess the wiring's condition and recommend corrective measures if needed.

161) AFCI Circuit Breakers

NI

AFCI circuit breakers were not present. AFCI circuit breakers help to prevent electrical fires caused by arc fault conditions at bedroom receptacles. Conventional circuit breakers only respond to overloads and short circuits; so they do not protect against arcing conditions that produce erratic, and often reduced current. **AFCI circuit breakers are a modern requirement for new construction, upgrades and or where branch circuit wiring is modified, replaced, or extended, for all bedroom and similar receptacle circuits. Consult a License Electrician for local requirements.**

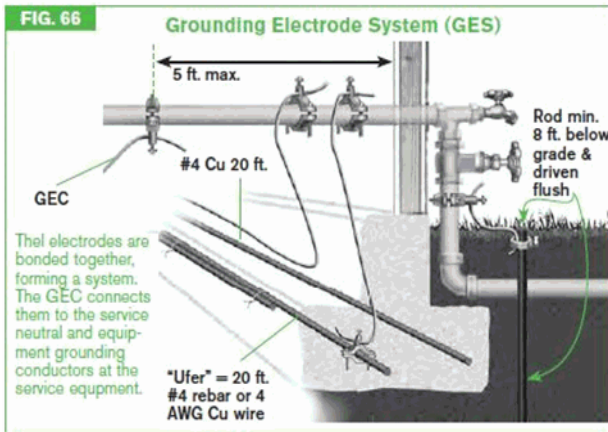


Fnc = Functional | Rep = Repair / Replace | STY = Safety | Mtc = Maintenance | NI = Not Inspected / Not Installed

162) Cold Water Clamp - Ground Rod Connection

Fnc

The ground clamp to the ground rod connection was secured in place. There were no signs of rust or corrosion. Grounding continuity tests are not perform as part of the basic home inspection.

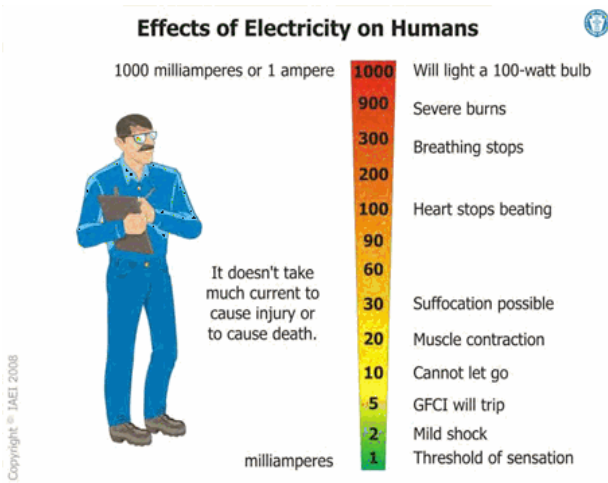


163) Exterior Lighting - Receptacles

STY

Exterior Lighting. Exterior lighting that could be tested was found to be functional. **However lighting fixture substandard installation or damaged. Consult a license electrician for replacement.**

Exterior Receptacles. GFCI (ground fault circuit interrupter) protected receptacles at the exterior of the home that could be tested were found to be functional on the day of the inspection. (GFCI a safety device for outlets near water).



Fnc = Functional | **Rep** = Repair / Replace | **STY** = Safety | **Mtc** = Maintenance | **NI** =
Not Inspected / Not Installed



Special Notes

Electrical Notes

While we are not licensed electricians and in accordance with the standards of practice we only test a representative number of switches and outlets and do not perform load-calculations to determine if the supply meets the demand. However, every electrical deficiency or recommended upgrade should be regarded as a latent hazard that should be serviced as soon as possible, along with evaluation and certification of the entire system as safe by a licensed electrical contractor. Therefore, it is essential that any recommendations that we may make for service or upgrades should be completed before the close of escrow, because a licensed electrical contractor could reveal additional deficiencies or recommend additional upgrades for which we disclaim any responsibility. Any electrical repairs or upgrades should be made by a licensed electrician. Aluminum wiring requires periodic inspection and maintenance by a licensed electrician. Smoke Alarms should be installed within 15 feet of all bedroom doors, and tested regularly. Inoperative light fixtures often lack bulbs or have dead bulbs installed. The inspector is not required to insert any tool, probe, or testing device inside the panels, test or operate any over-current device except for ground fault interrupters, nor dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels. Any ancillary wiring or system that is not part of the primary electrical distribution system is not part of this inspection but may be mentioned for informational purposes only, including but not limited to low voltage systems, security system devices, heat detectors, carbon monoxide detectors, telephone, security, cable TV, intercoms, and built in vacuum equipment.

35 HVAC - Furnace 2

Heating

164) Images.

Fnc = Functional | Rep = Repair / Replace | STY = Safety | Mtc = Maintenance | NI = Not Inspected / Not Installed



Furnace Location

The gas furnace is located on the main floor of the home.

Distribution Type

Direct heating unit

165) Thermostat Condition

NI

The thermostat. Could not be tested. The pilot light / Furnace unit was not functional. Further evaluation is recommended. Evaluating the calibration of the thermostat is outside the scope of the general home inspection.

166) Furnace Performance

NI

Gas furnace pilot was not lit. The inspector was unable to inspect. Repairs, modifications and / or adjustments of any type are prohibited by the inspector. If pilots are off, a full inspection is not possible. It is suggested that the heating systems be activated and fully inspected by a license HVAC contractor prior to close of this property. The equipment must have the capability of providing heat to at least 68 degrees Fahrenheit.

It should note that unit show signs of deferred maintenance. Note the trash and debris's at the interior of the equipment box. General servicing is recommended before relighting or testing.

Combustion air venting. Appeared to be in satisfactory. The screen should be free of debris for appropriate airflow.

The Unit's manufacturer data sheet was not present / or legible. The average life span of central air-conditioning system is 12- to 20-years. That varies with the unit's location and design, quality of installation and maintenance schedule. Heat pumps have about the same life-span - about 15 years - when recommended maintenance is followed. Beyond manufacturer's life expectancy. Client should consider the cost of updates and or replacements.

167) Heater Exhaust Stack Vent

NI

Furnace Heater Exhaust Pipe. Furnace failed to perform. Therefore unit could not be tested. Recommend further evaluation.

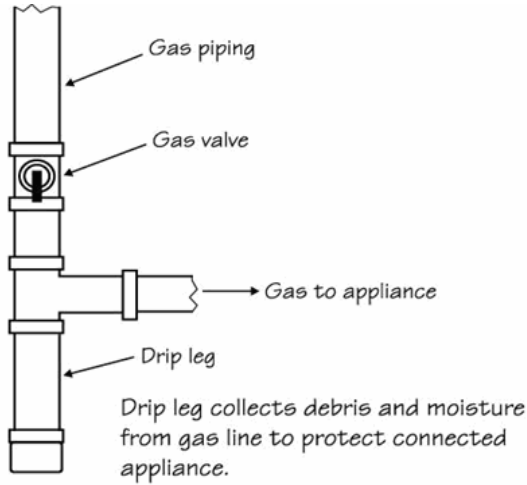
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168) Shutoff Gas Valve, Line and Drip Leg

Rep

Shutoff Gas Valve, Line. Were present. *Could not be tested. The pilot light was not lit for inspection. Consult the local gas authority to light the pilot and test the Gas furnace for functionality.*

A drip leg (sediment trap) at the gas line connection was missing, it is recommended client consult their local utility provider / license plumber for local installation requirements.



169) Distribution Conditions

NI

Wall gas heating units are most useful for heating one single location. When heating several rooms additional methods are recommended.

36 HVAC - Air 2

Air Condition - Cooling

170) Images.

Type of Cooling System None present.

171) AC Condenser NI There was no visible cooling system for the home. Client should consider the cost of upgrades.

172) AC Evaporator Fnc Not applicable.

173) Drip Pan & Condensation Lines Fnc Not applicable.

Special Notes

HVAC Notes

The inspector can only readily open or access panels provided by the manufacturer or installer for routine homeowner maintenance, and will not operate components when weather conditions or other circumstances apply that may cause equipment damage. The inspector does not light pilot lights or ignite or extinguish solid fuel fires, nor are safety devices tested by the inspector. The inspector is not equipped to inspect furnace heat exchangers for evidence of cracks or holes, or inspect concealed portions of evaporator and condensing coils, heat exchanger or firebox, electronic air filters, humidifiers and de-humidifiers, ducts and in-line duct motors or dampers, as

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this can only be done by dismantling the unit or external components. This is beyond the scope of this inspection. Thermostats are not checked for calibration or timed functions. Adequacy, efficiency or the even distribution of air throughout the structure cannot be determined by a visual inspection. However these items can help with overall efficiency and should be evaluated by a qualified individual. The inspector does not perform pressure tests on coolant systems, therefore no representation is made regarding refrigerant charge or line integrity.

We perform a conscientious evaluation of the system, but we are not HVAC contractors. Please note that even modern heating systems can produce carbon monoxide, which in a poorly ventilated room can result in sickness and even death. Therefore, it is essential that any recommendations we make for service or further evaluation be scheduled before the close of escrow, because a specialist could reveal additional defects or recommend further upgrades that could affect your evaluation of the property, and our service does not include any form or warranty or guarantee. Normal service and maintenance is recommended on a bi-yearly basis. As part of your basic home maintenance plan. Determining the presence of asbestos materials commonly used in heating systems can ONLY be performed by laboratory testing and is beyond the scope of this inspection.

37 Plumbing WH 2

Water Heater(s)

174) Images.



Water Heater Type

Gas-fired, storage tank.

Fnc = Functional | Rep = Repair / Replace | STY = Safety | Mtc = Maintenance | NI = Not Inspected / Not Installed

Water Heater Location

Water heater is located at exterior side wall water heater cabinet.

175) Water Heater Performance - Condition

Mtc Hot water heater was found to be functional on the day of the inspection. Output temperatures were satisfactory. There were no visible signs of leaks, rust or corrosion at the time of inspection. **Hot water heater temperature was measure at 138°. We recommend a temperature setting of 120°F or less. Water temperatures over 125°F can cause severe burns instantly or death from scalds. Note: Households with small children or invalids may require a 120°F or lower temperature setting to prevent accidental contact with HOT water.**

176) Water Heater Capacity - Cabinet

Fnc Water Heater Capacity. The hot water heater for the home is 40 gallons. Based on the national water heater capacity charts it is satisfactory.

Combustion air venting. Was found to be satisfactory.

Manufacture stamp date 25 August 2025. Based on the manufacturer's suggested service life, the life expectancy of a water heater is about 8 to 12 years. That varies with the location and design of the unit, quality of installation, maintenance schedule and water quality.

177) Water Heater Exhaust Stack Vent

Mtc Venting Flue: The visible and accessible portions of the venting flue pipe appeared to be in serviceable condition at the time of the inspection. (Fnc)

Fire Safety Hazard: The flue vent and water heater cabinet were in close proximity to, or covered by, substantial vegetation. This creates a significant fire safety hazard and may obstruct proper drafting of combustion gases. (NI)

Recommendation: Vegetation clearing is recommended to provide adequate clearance around the cabinet and vent terminal. (Rep)

178) Water Heater Supply Lines and Shutoff Valve

Mtc Hot water heater supply lines were in functional condition. **Insulation is recommended at supply lines. This will help prevent condensation calcium and corrosion.** The water heater cold water shutoff valve appeared in functional condition.

179) Temperature Pressure Relief Valve- Discharge Line

STY Water Heater - Temperature & Pressure Relief ValveThe water heater's Temperature and Pressure (T&P) Relief Valve was in satisfactory condition. (Fnc)**However, the discharge overflow pipe for the valve was not extended to the exterior of the home. (Rep)Safety Concern (STY): This is a safety concern as the discharge of high-temperature water or steam could cause severe burns if the valve were to activate in an emergency.Recommendation: It is recommended that a licensed plumber install an extension pipe to direct the discharge to the exterior of the home for increased safety. (Rep)**

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180) Water Heater Seismic Straps

Fnc

The hot water heater was properly braced. Seismic straps were installed both top and bottom according to manufacturers guidelines.

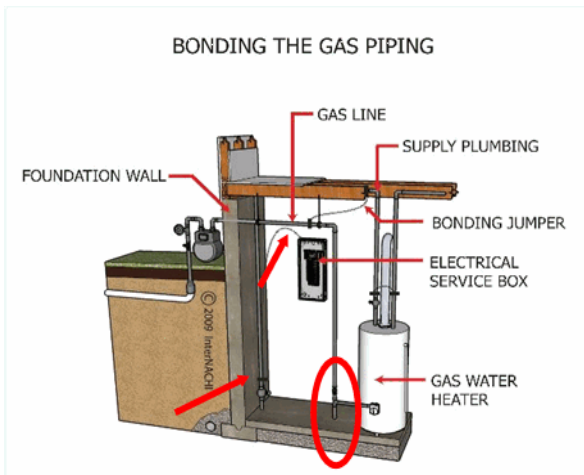
181) Shutoff Gas Valve, Gas Line and Drip Leg

Rep

Shutoff Gas Valve, Gas Line. Were present. There were no apparent gas leaks at gas appliance connections.

A drip leg (sediment trap) at the gas line connection was missing / not installed. It is recommended client consult their local utility provider / license plumber for local installation requirements.

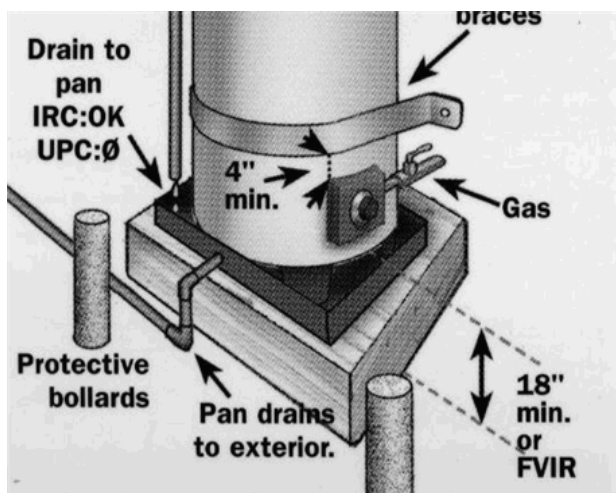
Pipe bonding between water supply line and gas line was not visible / installed. Therefore it could not be inspected. Ideally, current standards require a simple jumper wire across.



182) Drip Pan

Rep

Drip pans are recommended below all hot water heaters. Drip pans should drain to the exterior. This will help contain leaks and prevent water damage.



Special Notes

Plumbing Notes

The home inspector in no way can determine the condition of plumbing pipes that are concealed in

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walls cavities and below grade. The home inspector will do his best to describe what type systems are visibly present. The home inspector will not determine the percentage of copper versus galvanized in a home that has been re-piped. If the home inspector diagnose the system as no apparent leaks on the day of inspection. This does not mean that there are not leaks present. It only means that there were no leaks visibly apparent the day of the inspection. Destructive evaluation of the plumbing system is not allowed during a basic home inspection.

Modern plumbing system will utilize PEX tubing. This tubing functions under certain water pressure and temperatures that help to prevent leaks. It is important to maintain proper water pressure levels along with hot water heater temperatures. Client should seek the assistance of a licensed plumber if higher hot water temperature is desired in the home.

The plumbing inspection is not a guarantee or warranty against future leaks, clogs or predictions of the future performance of the plumbing systems. It is merely a snapshot of the functionality of the primary plumbing system on the day of inspection.

38 Laundry

Laundry Room

183) Images



Location

Located on the main level of the home.

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Not Inspected / Not Installed

Floor Drain

Floor drains and drip pans are recommended for all laundry areas. This will help contain leaks and prevent water damage.

184) Floors - Walls - Ceilings

Rep Laundry Room.
Laundry area of the home appeared to be additions or improvements to the original home structure. It is recommended client do his own diligence and request all required additional permits for these improvements.

While the general condition of the visible and accessible floors, walls and ceiling appeared functional at the time of the inspection. It should be noted that wall area show signs of patch, repair or moisture related damage or substandard installation. Floor was leaning or not level. Consult a qualified contractor for further evaluation.

185) Doors - Windows

Rep Laundry Room.
Missing laundry area door.
Missing laundry area window installation.
Client should consider the cost of door and window installation.

186) Laundry Connections

Rep Laundry Room.
Intended Use: The area appears to be intended for use as a laundry room based on its layout and location. (Fnc)
Missing Utilities: No visible water supply hose connections or dedicated drain lines for a washing machine were observed at the time of the inspection. (NI)
Functional Note: Without these specific plumbing connections, the area is currently not functional for standard laundry equipment.

187) Dryer Vent

Rep Laundry Room.
Intended Use: The area appears to be intended for use as a laundry room based on its layout and location. (Fnc)
Dryer Venting: A dryer exhaust vent was present at the exterior wall. (Fnc)
Vent Obstruction: A screen was present at the vent pipe exhaust.
Risk: Screens trap lint, leading to hazardous buildup within the duct, which is a significant fire safety hazard and restricts airflow.
Recommendation: Remove the screen and install a proper backdraft damper or "louvered" cap designed for dryer exhausts. (Rep)

Fuel Supply: A gas connection was not visible or present for a dryer connection. (NI) Without these specific plumbing connections, the area is currently not functional for standard laundry dryer equipment.

188) Electrical

Rep Laundry Room.
Electrical lighting. Lights and switches by way of hallway lighting.

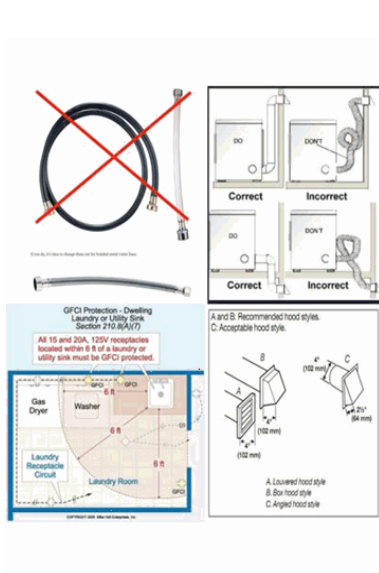
Electrical Outlets. Laundry electrical outlets were present and appeared to function normally. Appliances are not operated and or

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disconnected for testing as part of the inspection. A 20 amp rated receptacle is recommended for all laundry areas.

GFCI. Required GFCI receptacles were not present. It is a modern requirement that all laundry countertop surfaces or within 6 feet of a wet location should be protected by ground fault circuit interrupters for safety.

Exhaust Fan. None present. Window (opening) ventilation only was observed in the laundry area. While this was considered adequate by today's standards, we strongly advise the installation of a powered ventilation system. Failure to remove excess moisture from laundry areas can cause mold and moisture conditions.



Laundry Special Notes

Laundry Notes

Laundry appliances are not tested or moved during the inspection and the condition of any walls or flooring hidden by them cannot be judged. Drain lines and water supply valves serving washing machines are not operated. Water supply valves may be subject to leaking if turned. 20 amp rated outlets are recommended for continuous use laundry equipment outlets. GFCI protected receptacles outlets are needed for all in wet location counter outlets.

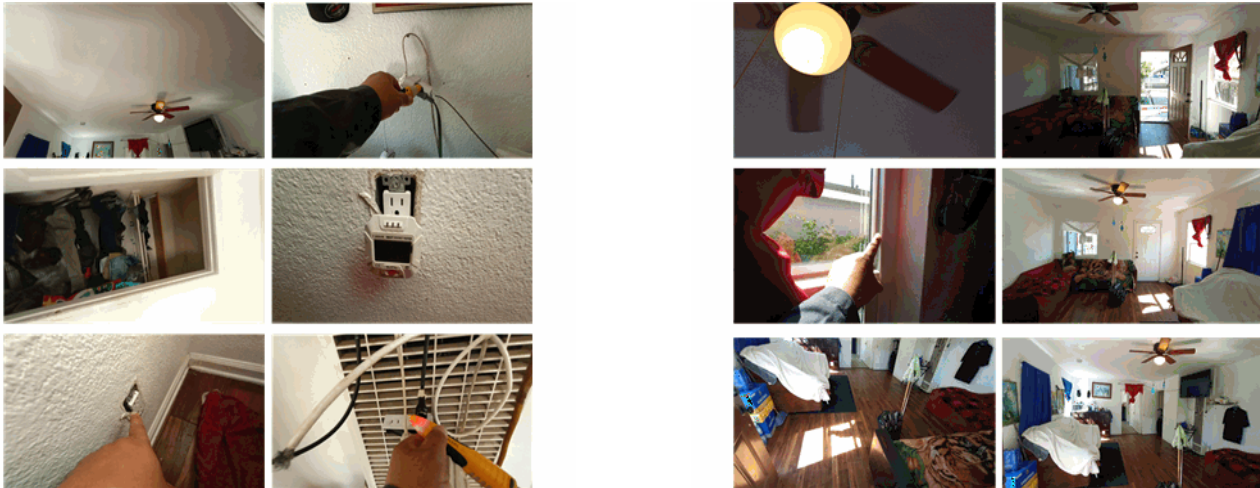
39 Living - Dining – Areas 2

Living - Dining – Areas

189) Room

Images.

Fnc = Functional | **Rep** = Repair / Replace | **STY** = Safety | **Mtc** = Maintenance | **NI** = Not Inspected / Not Installed



190) Floors Condition

Fnc Living - Dining - Areas. The general condition of the visible and accessible portions of the floors appeared to be in fair condition at the time of the inspection.

191) Walls Condition

Fnc Living - Dining - Areas. Walls were in fair condition for the age of the home. There were no significant signs of stains or damage visible.

192) Ceilings Conditions

Fnc Living - Dining - Areas. Ceilings were in fair condition for the age of the home. There were no signs of significant stains or damage visible.

193) Windows Condition

Rep Living - Dining - Areas. The general condition of the visible and accessible windows appeared serviceable at the time of the inspection. Windows that could be tested were found to operate normally.

Window rail defect was noted. It is recommended client consult a licensed window contractor for cost of repair / replacement.

194) Doors Condition

Fnc Living - Dining - Areas. The general condition of the visible and accessible doors appeared serviceable at the time of the inspection. Doors that could be tested were found to operate normally.

195) Lights and Switches

Fnc Living - Dining - Areas. Lights and switches that were tested were found to be functional with appropriate cover plates installed.

196) Receptacle Outlets

Rep Living - Dining - Areas. **Inspector could not locate an accessible outlet / switch for inspection. Recommend further evaluation.**

Convenience extension cord current was present.

An outlet was not functional, defective or inoperative. There was no current present at the receptacle outlet. Consult a licensed electrician for evaluation and correction.

All receptacles more than 10 years old should be updated to modern

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tamper-resistant receptacles for occupant safety.

Interior Special Notes

Special Notes

Our inspection of living space includes the visually accessible areas of walls, floors, cabinets and closets, and the testing of a representative number of windows and doors, switches and outlets. We do not evaluate window treatments, move furnishings or possessions, lift carpets or rugs, empty closets or cabinets, nor comment on cosmetic deficiencies. We may not comment on cracks that appear around windows and doors, along lines of framing members or along seams of drywall and plasterboard. These are typically caused by minor movement, such as wood shrinkage, common settling, and seismic activity, and will often reappear if they are not correctly repaired. Such cracks can become the subject of disputes, and are therefore best evaluated by a specialist. Floor covering damage or stains may be hidden by furniture, and the condition of floors underlying floor coverings is not inspected. Determining the condition of insulated glass windows is not always possible due to temperature, weather and lighting conditions. Check with owners for further information and disclosures. All fireplaces should be cleaned and inspected on a regular basis to make sure that no cracks have developed. Large fires in the firebox can overheat the firebox and flue liners, sometimes resulting in internal damage. Testing, identifying, or identifying the source of environmental pollutants or odors (including but not limited to lead, mold, allergens, odors from household pets and cigarette smoke) is beyond the scope of our service, but can become equally contentious or difficult to eradicate. We recommend you carefully determine and schedule whatever remedial services may be deemed advisable or necessary before the close of escrow.

40 Halls 2

Halls

197) Halls

Images.



198) Floors Condition

Mtc

Halls. The general condition of the visible and accessible portions of the floors appeared to be in fair condition at the time of the inspection. **However.** **Note.** Client should note portions of the

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subfloor /floor decking appeared uneven or leaning. Inspection of these areas was obstructed by the finish flooring material and not visible. Consult a license flooring contractor for more information.

199) Walls Condition

Fnc

Halls. Walls were in fair condition for the age of the home.

Abandoned Components: An abandoned metallic box was observed at the wall. (NI)

Note: The original purpose of this box is unknown. It should be further evaluated by a qualified professional to ensure no live electrical components remain inside before removal or covering.

200) Ceilings Conditions

Fnc

Halls. Ceilings were in fair condition for the age of the home. There were no significant signs of stains or damage visible.

201) Doors Condition

Fnc

Halls. The general condition of the visible and accessible doors appeared serviceable at the time of the inspection.

202) Lights and Switches

Mtc

Halls. Lights was tested and found to be functional. However. Light switch component damaged and or no properly installed.

203) Receptacle Outlets

Rep

Halls. An open ground condition was observed at a receptacle outlet (S). Consult a licensed electrical contractor for evaluation and or repair.

41 Carbon Monoxide & Smoke Detectors 2

Carbon Monoxide & Smoke Detectors

204) Images

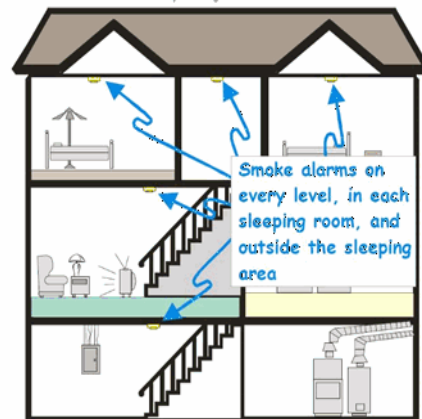
SMOKE ALARMS SAVE LIVES

MAKE SURE YOUR SMOKE ALARMS PERFORM AS INTENDED
- WHEN YOU NEED THEM THE MOST

- **TEST** smoke alarms monthly
- Change the **BATTERIES** every year
- Beware of **CHIRPING** smoke alarms - it's time to replace the batteries
- Replace older smoke alarms - **REPLACE** alarms that are more than 10 years old
- Know the **SOUND** of the smoke alarm and what to do if the alarm goes off



REMEMBER, ONLY WORKING SMOKE ALARMS CAN SAVE YOUR LIFE!



Replace batteries every year
Replace smoke alarms every 10 years

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205) Main-Hallway Outside Sleeping Quarters

STY

Main-Hallway Outside Sleeping Quarters. Carbon monoxide/smoke detectors outside sleeping quarters were not present or functional. CO/smoke detectors should be installed according to manufacturers installations.

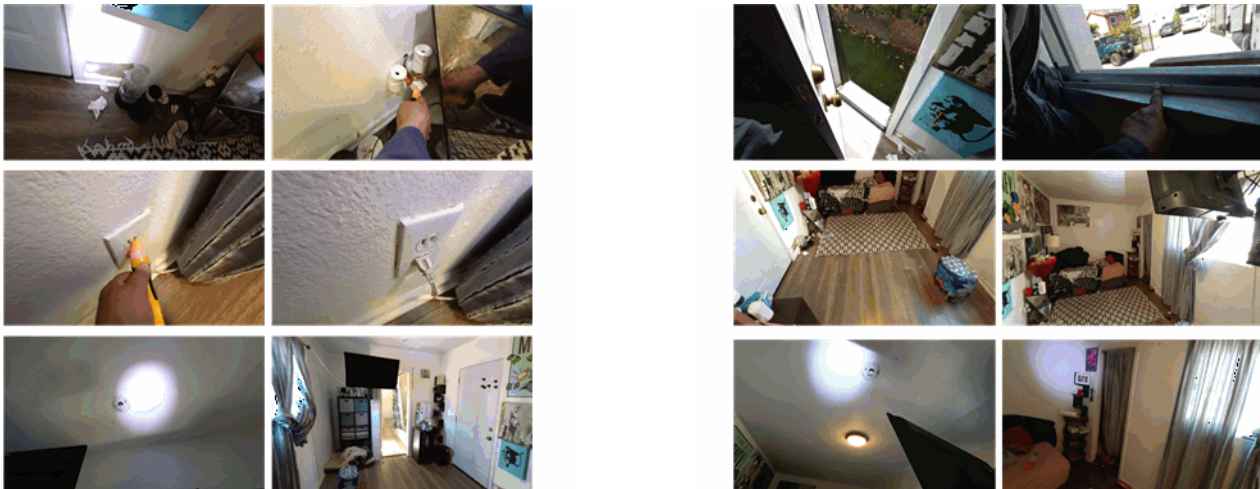
Smoke and carbon monoxide detectors should be replaced every 10 years. Re-test detectors every month for safety.

42 Bedrooms No 1 Unit 2

Bedroom #1

206) Bedroom #1.

Images.



207) Interior Smoke Detector

STY

Bedroom #1. No smoke detectors were found at the time of the inspection. Smoke detectors are needed in each bedroom for occupant safety.

Smoke detectors should be replaced every 10 years. Re-test detectors every month for safety.

208) Floors Condition

Fnc

Bedroom #1. The general condition of the visible and accessible portions of the floors appeared to be in fair condition at the time of the inspection.

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Not Inspected / Not Installed

209) Walls Condition

Mtc

Bedroom #1. Walls were in fair condition for the age of the home. However. Portions of the wall appeared to be damaged in some area recommend general repair.

210) Ceilings Conditions

Fnc

Bedroom #1. Ceilings were in fair condition for the age of the home. There were no signs of significant stains or damage visible.

211) Windows Condition

Mtc

Bedroom #1. The general condition of the visible and accessible windows appeared serviceable at the time of the inspection. Windows that could be tested were found to operate normally. Window screens loosely installed recommend corrections.

212) Doors Condition

Rep

Bedroom #1. The general condition of the visible and accessible doors appeared serviceable at the time of the inspection. Doors that could be tested were found to operate normally. Client should note that bedroom is only accessible from the exterior and or from the bathroom area, not a typical condition or bedroom layout.

Missing wardrobe closet door. Consult a general contractor for cost of replacement.

213) Lights and Switches

Fnc

Bedroom #1. Lights and switches that were tested were found to be functional with appropriate cover plates installed.

214) Receptacle Outlets

NI

Bedroom #1. Two prong (non-grounded) receptacles were present and functioned normally. Although these receptacles were commonly used years ago, we recommend a licensed electrician upgrade the outdated outlets to grounded three prong receptacles for safety.

Minimal outlets. Additional receptacles are recommended for convenience and safety. The use of extension cords may lead to overheating.

All receptacles more than 10 years old should be updated to modern tamper-resistant receptacles for occupant safety.

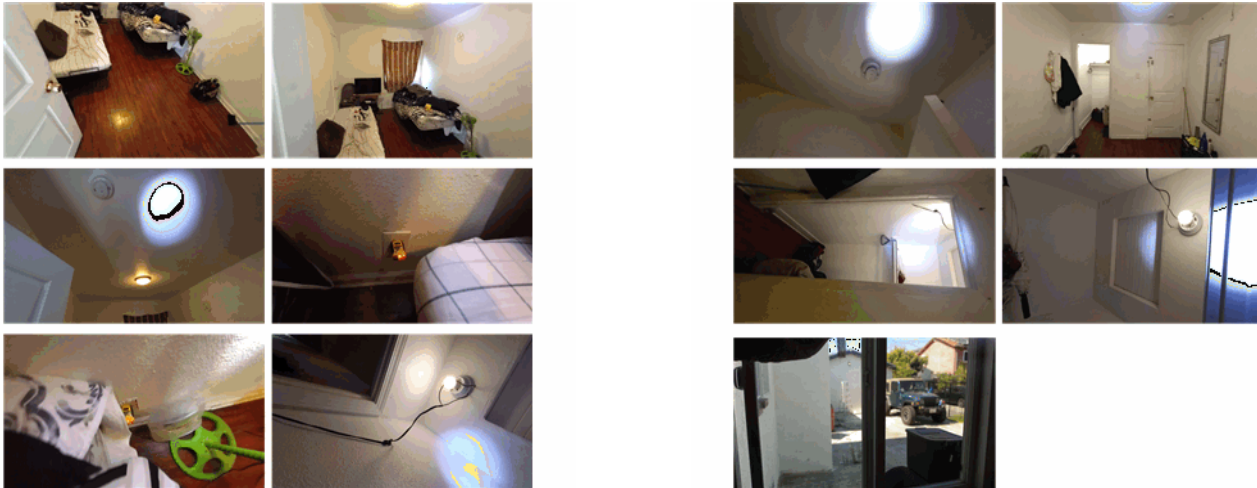
43 Bedrooms No 2 Unit 2

Bedroom #2

215) Bedroom #2.

Images.

Fnc = Functional | **Rep** = Repair / Replace | **STY** = Safety | **Mtc** = Maintenance | **NI** = Not Inspected / Not Installed



216) Interior Smoke Detector

Fnc

Bedroom #2. Smoke detector was present and functional. Smoke detectors should be replace every 10 years. Re-test detectors every month for safety.

217) Floors Condition

Fnc

Bedroom #2. The general condition of the visible and accessible portions of the floors appeared to be in fair condition at the time of the inspection.

218) Walls Condition

Fnc

Bedroom #2. Walls were in fair condition for the age of the home. There were no significant signs of stains or damage visible.

219) Ceilings Conditions

Fnc

Bedroom #2. Ceilings were in fair condition for the age of the home. There were no signs of significant stains or damage visible.

220) Windows Condition

Fnc

Bedroom #2. The general condition of the visible and accessible windows appeared serviceable at the time of the inspection. Windows that could be tested were found to operate normally.

221) Doors Condition

Rep

Bedroom #2. The general condition of the visible and accessible doors appeared serviceable at the time of the inspection. Doors that could be tested were found to operate normally.

[Missing wardrobe closet door. Consult a general contractor for cost of replacement.](#)

222) Lights and Switches

Rep

Bedroom #2. Lights and switches that were tested were found to be functional with appropriate cover plates installed.

Substandard lighting improvements (closet) and or connections noted. Safety hazard. Consult a license electrician for evaluation and or corrections.

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223) Receptacle Outlets

Fnc

Bedroom #2. Tested receptacles were found to be functional on the day of the inspection.
All receptacles more than 10 years old should be updated to modern tamper-resistant receptacles for occupant safety.

44 Bath #1 A Unit 2

Bath #1 Floors - Walls - Ceilings

224) Images.



225) Floors

Rep

Bathroom #1. The general condition of the visible and accessible portions of the floors appeared to be in fair condition at the time of the inspection. **However. Note. Client should note portions of the subfloor /floor decking appeared uneven or leaning. Inspection of these areas was obstructed by the finish flooring material and not visible. Consult a license flooring contractor for more information.**

226) Wall Conditions

Fnc

Bathroom #1. Walls were in fair condition for the age of the home. There were no significant signs of stains or damage visible.

227) Ceilings Conditions

Fnc

Bathroom #1. Ceilings were in fair condition for the age of the home. There were no significant signs of stains or damage visible.

228) Windows Condition

Fnc

Bathroom #1. The general condition of the visible and accessible windows appeared serviceable at the time of the inspection.

229) Door Conditions

Fnc

Bathroom #1. The general condition of the visible and accessible doors appeared serviceable at the time of the inspection.

45 Bath #1 B Unit 2

Bath #1 General

230) Images.

Fnc = Functional | Rep = Repair / Replace | STY = Safety | Mtc = Maintenance | NI = Not Inspected / Not Installed



231) Sink and Plumbing

Fnc Bathroom #1.
Sink was in operational condition showing signs of daily wear and tear.
Faucet was functional. Hot and cold running water was present.
Drain assemblies functioned normally with no signs of active leaks.

232) Counter-tops & Cabinets

Fnc Bathroom #1. The visible portions of the bath counters appeared to be in functional condition showing signs of wear and tear
The bath cabinets appeared to be in serviceable condition showing signs of daily wear and tear. Doors and drawers function normally.

233) Toilet

Rep Bathroom #1. Toilet was tested and found to be functional on the day of the inspection. **Toilet had a loose connection to the floor. Consult a licensed plumber to reattach flange bolts. Wax ring replacement may be needed.**



234) Tub and Showers

Mtc Bathroom #1.
Tub and shower.
Hot and cold running water was present.
Drainage was functional. **The drain stopper was missing or not**

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operational in bath.
 Tub and shower area show signs of significant daily wear and tear.
 General caulking / sealing is recommended throughout.



235) Image



236) Lights and Switches

Mtc Bathroom #1. Lights and switches that were tested were found to be functional with appropriate cover plates properly installed. A light bulb was out, missing or inoperative. Recommend all lights be operable prior to close.
 Missing or damaged cover plates / componets observed at the switch outlets. Safety hazard. Client to consult a licensed electrician for repairs.

237) Mechanical Exhaust

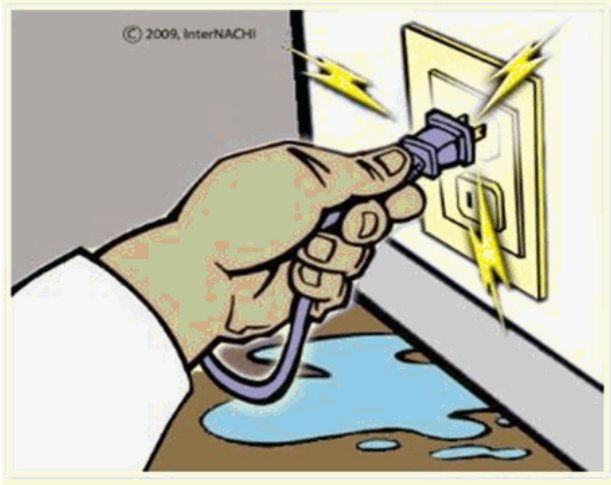
Mtc Bathroom #1. The ventilation appeared to be serviceable in the bath. Excessive lint observed at the exhaust. Bath fans draw in dust and lint, which can eventually clog the grille and limit airflow. For effective air movement. Recommend cleaning.

238) GFCI Outlets

STY Bathroom #1. The GFCI (ground fault circuit interrupter) receptacle did not respond to the inspectors (external) trip test device. While

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this device responded normally when self-tested. This device may not properly respond when needed. Recommend further evaluation and / or repair by a licensed electrician.



46 Kitchen Sec A Unit 2

Floors - Walls - Ceilings

239) Kitchen Sec A Images.



240) Floors Condition

Fnc

Kitchen. The general condition of the visible and accessible portions of the floors appeared to be in fair condition at the time of the inspection.

Client should note that while some items were noted as functional. Significant deferred maintenance may be present and not noted due to the present conditions of the home. While the item was noted as to be functional. Client should consider the cost of general cleaning and or maintenance required to bring the item to what is considered normal condition.

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241) Walls Condition

Fnc

Kitchen. Walls were in fair condition for the age of the home. There were no significant signs of stains or damage visible.

242) Ceilings Conditions

Fnc

Kitchen. Ceilings were in fair condition for the age of the home. There were no significant signs of stains or damage visible.

243) Windows Condition

Fnc

Kitchen. The general condition of the visible and accessible windows appeared serviceable at the time of the inspection.

47 Kitchen Sec B Unit 2

Kitchen Sink - Counter-tops - Cabinets

244) Images.



245) Counter-tops Conditions

Rep

Countertop Condition: The visible portions of the kitchen counters appeared to be in fair condition for the age of the home. (Fnc)
Maintenance & Wear: Counters showed evidence of heavy daily wear and tear, including an accumulation of kitchen grease, dirt, and grime. (NI)

Fnc = Functional | Rep = Repair / Replace | STY = Safety | Mtc = Maintenance | NI = Not Inspected / Not Installed

Recommendation: Client should consider the potential costs associated with professional cleaning, repairs, or future upgrades/replacements.

246) Cabinets Conditions

Rep

Cabinet Condition: The visible and accessible portions of the kitchen cabinets appeared to be in fair condition for the age of the home. (Fnc)

Maintenance & Wear: Similar to the countertops, the cabinet surfaces showed evidence of heavy daily wear and tear, including an accumulation of kitchen grease, dirt, and grime. (NI)

Recommendation: Client should consider the costs associated with deep cleaning, hardware replacement, or potential refinishing/upgrades.

247) Sink - Plumbing Conditions

Mtc

The kitchen sink was in functional condition. Faucet was operational. Hot and cold running water was present. Drain assemblies functioned normally with no signs of active leaks. However, slow drain was observed at kitchen sink. Consult a licensed plumber to clear slow drain lines at drain assembly.

What appears to be rodent or pest droppings was noted at the interior of the sink cabinet. It is recommended client consult a pest professional for further evaluation.

Outlet box covers were missing. Recommend installation of covers for increased safety.



248) Garbage Disposal Condition

Fnc

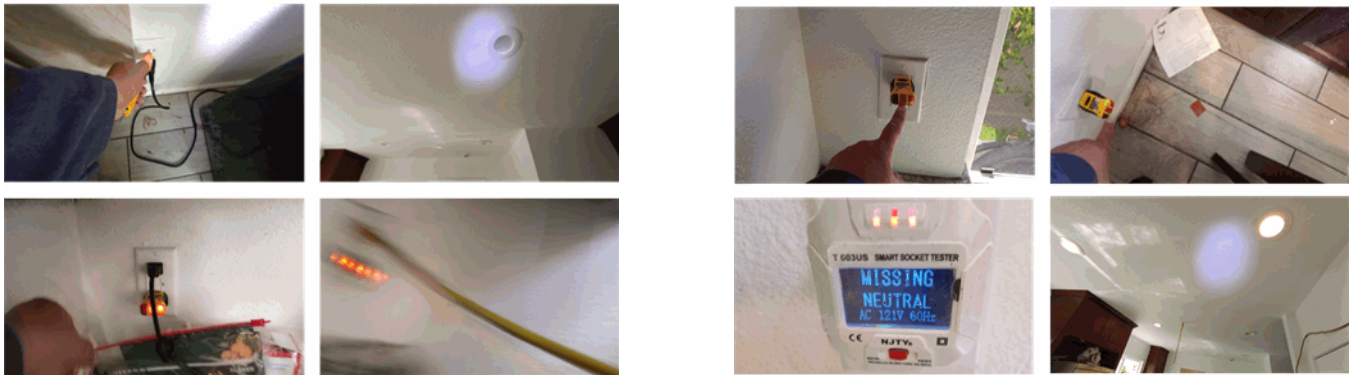
Garbage disposal was tested and found to be functioning normally on the day of the inspection.

48 Kitchen Sec C Unit 2

Electrical Conditions

249) Images

Fnc = Functional | Rep = Repair / Replace | STY = Safety | Mtc = Maintenance | NI = Not Inspected / Not Installed



250) Lights and Switches

Mtc

Lights and switches that were tested were found to be functional with appropriate cover plates properly installed. A number of light(s) bulb(s) were out, missing or inoperative. Recommend all lights be operable prior to close.

251) GFCI Receptacle Outlets Condition

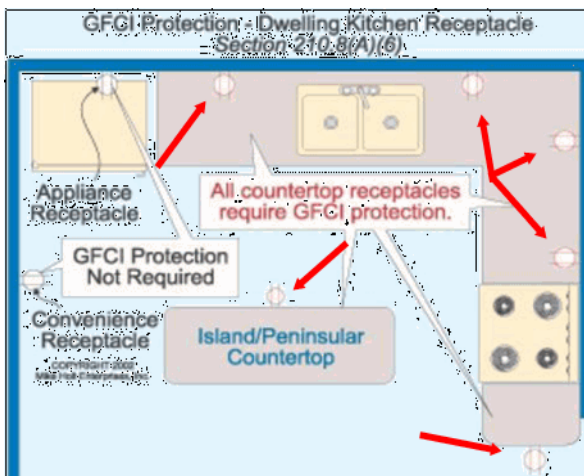
STY

GFCI receptacle outlets that were tested were found to be functional.

A kitchen counter outlet was not functional or there was no current present. Kitchen receptacles that serve countertop surfaces or within 6 feet of a wet location should be protected by ground fault circuit interrupters for safety. Consult a licensed electrician.

An open neutral wire condition was observed at an outlet(s). It is recommended client consult a licensed electrician for correction. Safety hazard.

Two prong (non-grounded) receptacles were present and functioned normally. Although these receptacles were commonly used years ago, we recommend a licensed electrician upgrade the outdated outlets to grounded three prong receptacles for safety.



Fnc = Functional | Rep = Repair / Replace | STY = Safety | Mtc = Maintenance | NI = Not Inspected / Not Installed

49 Kitchen Sec D Unit 2

Appliances

252) Images.



253) Mechanical Exhaust-Vent Hood Conditions

Mtc

Vent hood was tested by way of normal operating controls. It was found to be functional. Grease buildup noted. Left uncleaned, kitchen exhaust systems eventually accumulate enough grease to become extreme fire hazards.

Beyond manufacturer's life expectancy. Client should consider the cost of updates and or replacements.

254) Stove - Range Conditions

Rep

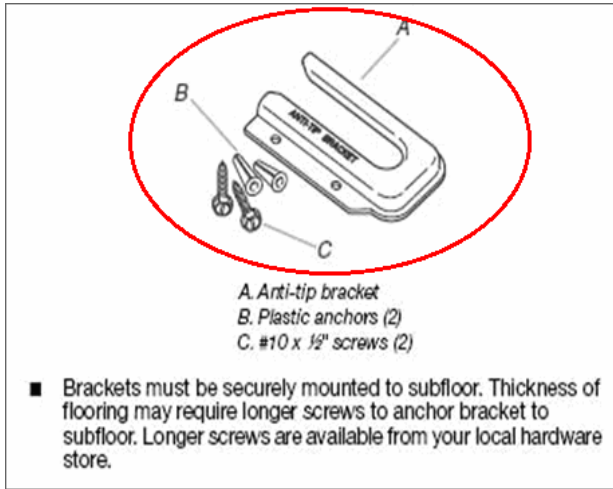
The gas range was tested by way of normal operating controls. It was found to be functional. One or more of the burners on the cook top did not operate. Repair is needed.

Gas has been provided for stove/range connection. There were no apparent signs of gas leaks from this appliance.

Gas range was missing an anti-tip bracket safety device. It is recommended client consult with an appliance technician for installation of anti-tip safety device.

Fnc = Functional | Rep = Repair / Replace | STY = Safety | Mtc = Maintenance | NI = Not Inspected / Not Installed

Beyond manufacturer's life expectancy. Client should consider the cost of updates and or replacements.



255) Oven Condition

NI

A full evaluation of the oven was not made due to personal items located at the interior. Personal items are not removed or disturbed during the home inspection. Further evaluation is recommended.

256) Dishwasher Conditions

NI

Dishwasher could not be tested due to present conditions. What appears to be live pests such as cockroaches were noted at the interior of the dishwasher cabinet. It is recommended client consult a pest professional for further evaluation.

257) Other Appliance

Fnc

Refrigerator was present and appeared to be functioning normally.