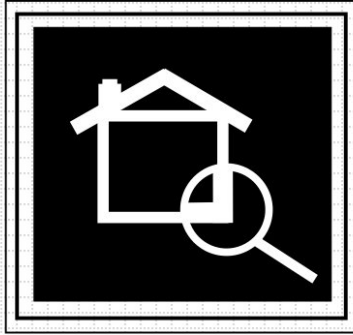




Professional

Inspection Services

Inspection Report



Address: 904 Hartford St Cambria, CA 93428

03/20/2026

Inspector: Keith Vreeken, MCI, FCI
P.O. Box 415 Templeton, CA 93465 O: 805.462.1978 C: 805.440.5050

MASTER INSPECTOR / State Board Member, CALIFORNIA REAL ESTATE INSPECTION ASSOCIATION

Please take the time to review the entire report carefully and completely. If there is anything you would like us to explain, or if there are any questions you have, please feel free to call us. We would be happy to answer any questions you may have.

IMPORTANT: All repairs should be completed or supervised by a licensed contractors. Example;
All plumbing repairs should be done by a licensed plumbing contractor.
All electrical repairs should be done by a licensed electrical contractor.
All heating and/or cooling system repairs should be done by a licensed HVAC contractor.
All roof repairs should be done by a licensed roofing contractor, etc.

This inspection is performed for the client of a property to provide a general, overall report of the conditions as they existed at the time of the inspection. This report focuses on the 6 major systems, which include: **Structural Integrity, Roof, Electrical Systems, Plumbing System, Heating and Cooling Systems and the Fireplaces and Chimneys**. Cosmetic conditions are outside the scope of this inspection and may not be included or reported on as part of a home inspection.

Notice: It is important that the Client follow all recommendations as stated in this report to help prevent damage, deterioration and to help ensure a safe and healthy building. The inspector can not be held liable if all recommendations are not followed completely.

Throughout the report, you'll find special symbols at the front of certain comments. Below are the symbols and their meanings:

E&C = Evaluation and Corrections Needed: This issue is a potentially serious concern and should be addressed. Recommend further review and repair by a qualified and licensed professional.

SC = Safety Concern: Dangerous conditions exist that should be corrected immediately for safety. Recommend further review and repairs by a qualified and licensed professional.

FI = Further Investigation is Needed: Client should have an appropriate licensed specialist investigate further until satisfied as to the cause, current conditions, potential future issues and correct as needed.

MR = Maintenance Recommended or Needed: Contact a qualified professional to service this system or component to help prevent future issues and ensure proper working order.

SU = Safety Upgrades: Safety upgrades are recommended, but may not necessarily be required. Contact a qualified professional for additional information.

UPG = Upgrade: Upgrades are recommended or needed by a qualified professional to help improve and maintain the overall performance and/or integrity of the system or component.

DS = Disclosure: This item should be monitored, as future attention, repair or upgrades might be needed. Contact a specialist for additional information and recommendations.

Be advised that, if the building was furnished at the time of the inspection, many areas were not visible or accessible. Therefore, the conditions in these areas could not be determined fully and warrant additional review once the building is vacant. Be aware that some defects, such as water intrusion or leaks that do not visibly show themselves at the time of this inspection, cannot be detected and may only arise after a building has been occupied for a time. A full re-inspection by us is warranted once the building is vacant.

Comments made within this report that are outside the scope of a standard inspection or the CREIA standards are informational only and at the discretion of the inspector. These comments do not in anyway constitute a full or complete inspection or evaluation of that specific system or component.

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General Information

NOTICE: This report contains technical information. If you were not present during the inspection, please contact this office to arrange for a phone consultation with your inspector. If you choose not to consult the inspector, this inspection company and inspector cannot be held liable for your misinterpretation or misunderstanding of this report's contents.

It is the responsibility of the client to check with local building departments for permit information during all real estate transactions.

NOTE: All warranties and liability protection for the client from this inspection applies only to the parties written on the signed contract and is not transferable to any third party without a new signed contract. If you acquired this inspection and are not the contracted party you are required to contact Professional Inspection Services to request for a reduced fee a new contract or forfeit any future liability claims.

IMPORTANT NOTIFICATION (Clients responsibility): Be aware that any defect comment within this report may only identify a portion of a overall condition. Example: A crack or movement in the foundation noted on the South side of the home, or a defective outlet found in the dining area. It is the responsibility of the client to have the appropriate licensed professional to review the entire system, and not only the specific noted defect. Such as per our example, the engineer or contractor shall review the entire foundation systems not only the specific area noted in the report to ensure that additional movement or settling is not occurring in other areas which are not directly identified in the report. Also per the example, the electrical contractor shall review all electrical outlets not just the defective outlet noted in the report to determine if additional defects in the electrical system needs repairing. Additional defects may be discovered during the additional review of the entire system by the appropriate licensed professional.

Hidden Defects: A latent, hidden or concealed defect is one which could not be readily discovered by reasonable, customary and non-invasive visual observation during the inspection. These defects might have been painted over, inside walls, buried under insulation, covered or blocked with furniture and other belongings, or tucked away in hard-to-reach spaces with limited access which require dismantling or the use of special equipment or tools or in areas that the home inspector dreamed unsafe to enter. Defects that are discovered which have been concealed, hidden, or covered up by home owners, etc., are outside the scope of this inspection. Considering home inspections are only visual and non-invasive in scope, the inspector is not required to use x-ray vision or ESP to find hidden or concealed defects and is not responsible or liable if discovered after the close of escrow during remodels, during different weather patterns which were not encountered during the inspection or when the occupant's belongings or flooring have been removed, even if they appear days, months or even years after the move in. If the home is occupied during the inspection, the client shall have the inspector revisit the property, for an additional fee, to inspect areas of the property which were not visible or accessible at the time of the original inspection due to occupant's belongings once the home is vacant and prior to the close of escrow. Failure to do so will void any inspector liability for discovered defects which fall within the standards in areas that were blocked during the original inspection by the occupant's belongings.

WEATHER CONDITIONS

- 1: Approx. Temperature: 70°F
- 2: Dry Today

FOR THE PURPOSES OF THIS INSPECTION, THE BUILDING FACES

- 3: North

INSPECTION DATE

Friday, March 20, 2026

START TIME

8:30 am

FINISH TIME ON-SITE

1:00 pm

INSPECTOR

5: Keith Vreeken, MCI

PROPERTY TYPE

6: Single Family

INSPECTION TYPE

7: **Pre-Sale Listing Inspection** : This inspection is performed for the seller of a property to provide a general, overall report of the conditions as they existed at the time of the inspection. This report focuses on the 6 major systems, which include: **Structural Integrity, Roof, Electrical Systems, Plumbing Systems, Heating and Cooling**, and the **Fireplaces and Chimneys**. Cosmetic conditions are not reported on as part of a home inspection. This report, which can be given to a perspective buyer, is informational only and may not include recent repairs completed after the inspection was performed, nor conditions which may have surfaced since this inspection was completed. A prospective buyer relying on this report and the original contract, provided by the seller, is required to contact Professional Inspection Services for a report review and to sign a new contract. **Any Buyer who receives this report is required for a fee to sign a new contract and pay for an on-site report review to prevent any misinterpretation of the report findings. Any failure of this requirement releases Professional Inspection Services and its inspectors from any and all liability from the buyer without exception.**

YEAR/ OCCUPANCY STATUS

8: Approx. Year Built: 1981

9: Occupied.

PRESENT DURING THE INSPECTION

10: Alone

ADDITIONS

DS 11: Disclosure: Be aware that some upgrades or additions which may have required building permits were found or suspected. *Client should check with the local building departments for applicable permits.*

Grounds

DRIVEWAY TYPE

12: Concrete Driveway

13: Asphalt Driveway

DRIVEWAY COMMENTS

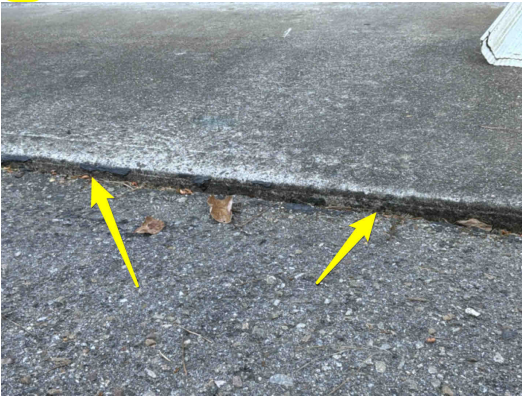
14: Typical & common cracks found in areas of the driveway.

UPG 15: Some common and moderate cracks found in areas of the driveway. Client should investigate further the cause and correct.



Example

SU 16: Areas of the driveway are uneven with potential trip hazards. Upgrades recommended.



Example

MR 17: Sealant and general maintenance recommended at the asphalt driveway to help to preserve the overall life.

UPG DS 18: Disclosure: Areas of some minor ponding of water / poor drainage at areas of the driveway.

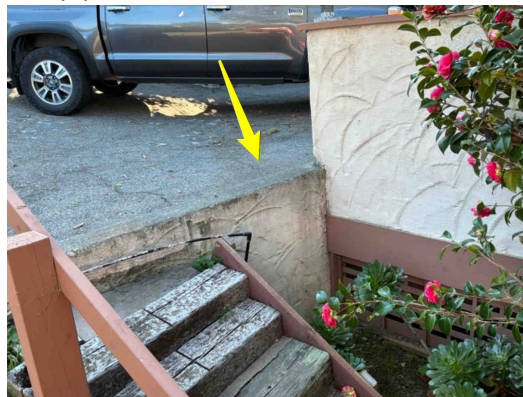
DS 19: Due to the slope of the driveway at the garage connection, some water intrusion into the garage may occur during certain weather.

FI DS 20: Areas of driveway found to be installed at or above the exterior siding and/or trim. This does not allow for moisture which can collect behind the exterior stucco siding to properly drain and can build up moisture inside the wall cavity. Refer to the Termite Report for additional comments and recommendations.

SU 21: Railings are missing / recommended at edge West side of the driveway, at the drop off along the driveway to the ground below is greater than 30 inches, to help prevent a fall.



Location of a recommended railing



SIDEWALK / WALKWAY TYPE

22: Concrete Walkways

SIDEWALK / WALKWAY COMMENTS

23: Walkways appear serviceable

24: Some typical and common cracks found at areas of the walkways.

Exterior

Any comments as to water intrusion are not intended to be technically exhaustive per CREIA standards. If some water intrusion is evident it is recommended to have all areas of potential water intrusion evaluated by a qualified water intrusion specialist. This is a visual, non-destructive inspection.

Disclosure: Wall insulation type & value not determined. Conditions inside walls cannot be judged.

STRUCTURE TYPE

25: Wood Framed

EXTERIOR WALL COVERINGS

26: Painted Stucco.

Disclosure: The painted stucco will require continuous and ongoing maintenance, such as repainting approximately every 7 to 10 years depending on the quality of paint.

27: Wood Siding

EXTERIOR WALL COMMENTS

28: Exterior walls appear in good condition

DS 29: Disclosure: *Wall insulation type & value not determined. Conditions inside walls cannot be judged.*

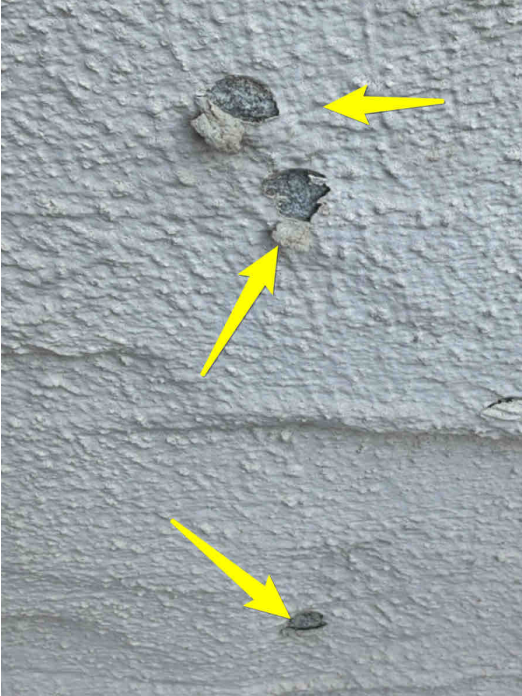
MR 30: Areas of the exterior are not fully visible and not inspectable due to overgrown foliage. Conditions behind the foliage in areas not visible are unknown. Client is advised to have the overgrown foliage removed and to have the areas reinspected.



STUCCO

DS 31: Disclosure: Cracks at areas of the exterior stucco siding appear to be typical and common. Cracks should be monitored to determine if any additional cracks, movement or separations occur or if cracks get larger.

MR 32: Some typical moisture damage, peeling of painted stucco color coat. (Ongoing maintenance recommended).



Example



EXTERIOR GENERAL

SU 33: Disclosure: Evidence of bird and/or bat type nesting on areas of the exterior and/or roof. Contact a qualified pest control company to evaluate and make recommendations if concerned.

FI 34: Unusual improper nonprofessional exterior stucco repair found off the primary bedroom bathroom tub at the exterior waterproof deck OFF THE UPSTAIRS PRIMARY BEDROOM



EXTERIOR TRIM

35: TRIM TYPE: Wood

E&C 36: Some moisture and/or bug type damage & deterioration found at exterior areas such as eaves, fascia and/or trim. Refer to the termite report for locations and extent.

MR 37: Caulking is needed at all exterior trim areas such as doors, windows, fascia, etc.

MR 38: Deteriorated paint or finish at areas of the exterior.

Exterior Stairs

Exterior stairway # 1

EXTERIOR STAIRS

39: Type: Stack Railroad Tie exterior stairway - OFF THE WEST SIDE OF THE DRIVEWAY

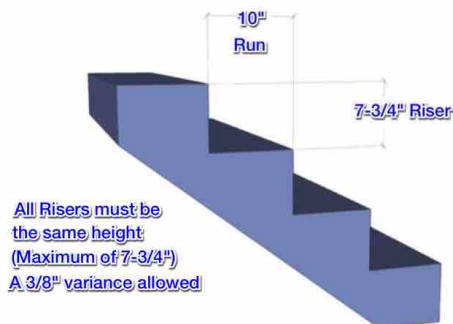


SC FI 40: The Stack Railroad Tie exterior stairway - OFF THE WEST SIDE OF THE DRIVEWAY found unsafe due to the improper construction and/or physical damage.

E&C 41: The Stack Railroad Tie exterior stairway - OFF THE WEST SIDE OF THE DRIVEWAY does not meet minimum construction and safety standards, potential fall hazard.

MR 42: Earth-to-wood contact at the exterior wood framed Stack Railroad Tie exterior stairway - OFF THE WEST SIDE OF THE DRIVEWAY. Refer to a termite report for additional comments and recommendations.

SC 43: Uneven step tread rise, step heights are not all the same, at the Stack Railroad Tie exterior stairway - OFF THE WEST SIDE OF THE DRIVEWAY. Potential trip or fall hazard.

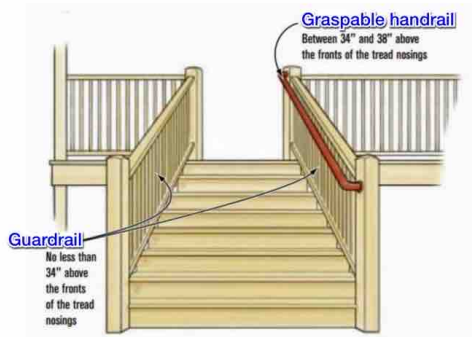


E&C UPG 44: Moisture and/or bug type damage & deterioration found at the Stack Railroad Tie exterior stairway - OFF THE WEST SIDE OF THE DRIVEWAY.

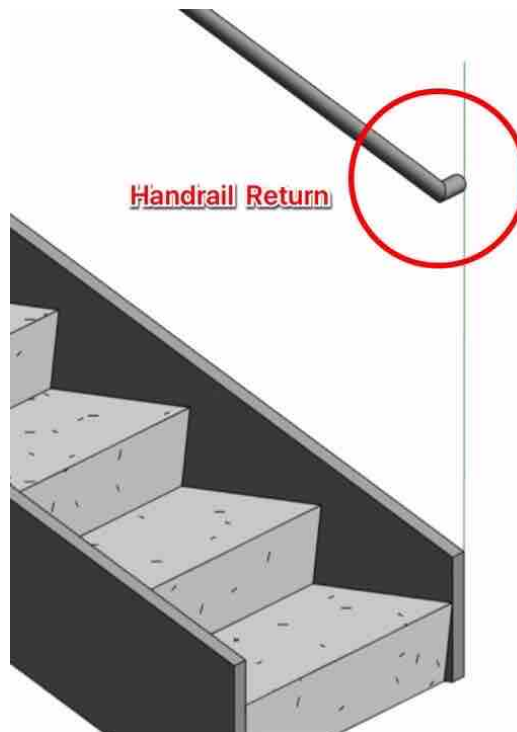
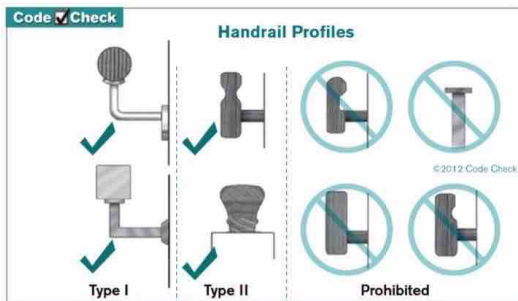
SC 45: Loose and unsecured treads found at areas of exterior stairway: OFF THE WEST SIDE OF THE DRIVEWAY.

EXTERIOR STAIRWAY RAILINGS

SC SU 46: Missing a required proper graspable handrail at the Stack Railroad Tie exterior stairway - OFF THE WEST SIDE OF THE DRIVEWAY. The current 2 x 4 handrail does not meet minimum requirements.



Meet minimum requirements





Exterior Stairway # 2

EXTERIOR STAIRS

47: Type: Stack Railroad Tie exterior stairway - OFF THE EAST SIDE OF THE DRIVEWAY

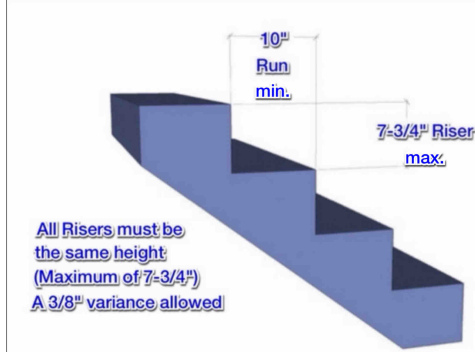


SC FI 48: The Stack Railroad Tie exterior stairway - OFF THE EAST SIDE OF THE DRIVEWAY found unsafe due to the improper construction and/or physical damage.

E&C 49: The exterior stairway OFF THE EAST SIDE OF THE DRIVEWAY does not meet minimum construction and safety standards, potential fall hazard.

MR 50: Earth-to-wood contact at the Stack Railroad Tie exterior stairway - OFF THE EAST SIDE OF THE DRIVEWAY. Refer to a termite report for additional comments and recommendations.

SC 51: Uneven step tread rise, step heights are not all the same, at the Stack Railroad Tie exterior stairway - OFF THE EAST SIDE OF THE DRIVEWAY. Potential trip or fall hazard.

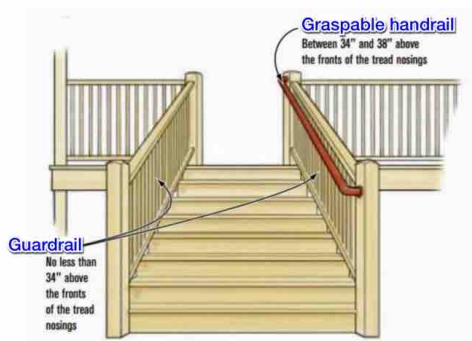


E&C 52: Moisture and/or bug type damage & deterioration found at the Stack Railroad Tie exterior stairway - OFF THE EAST SIDE OF THE DRIVEWAY. Refer to the Termite report for additional details and recommendations.

SC 53: Loose and unsecured treads found at areas of Stack Railroad Tie exterior stairway - OFF THE EAST SIDE OF THE DRIVEWAY.

EXTERIOR STAIRWAY RAILINGS

SC 54: Missing a required proper graspable handrail at the Stack Railroad Tie exterior stairway - OFF THE EAST SIDE OF THE DRIVEWAY.



Decks

Deck # 1

LOCATION & TYPE

55: DECK LOCATION: **FRONT ENTRY DECK**

DECK TYPE: Coated and Waterproof



WATERPROOF DECK COMMENTS

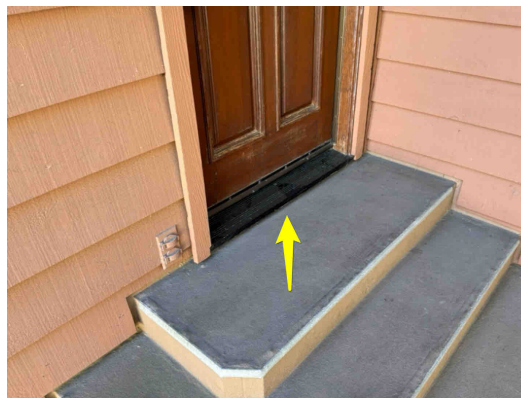
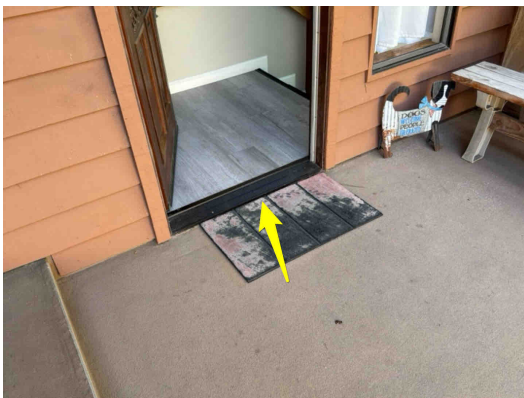
DS 56: The waterproof coating at the FRONT ENTRY DECK visually appears to be in good condition.

Determining if the waterproof coated deck is actively leaking or performing water testing is beyond the scope of this inspection. Inspection and/or maintenance of the waterproof coating should be performed annually. Waterproof deck flashings are not fully visible.

E&C UPG 57: Missing the proper secondary overflow drains at the waterproof decking at the FRONT ENTRY DECK per [CPC §1108.]. The secondary deck drain or scupper must have its inlets located at 2 inches above the primary deck drain inlet, should be below the door threshold, and discharge to a conspicuous above grade location to serve as a visible warning of blockage.

Evaluation and correction by a qualified licensed contractor is advised. If scuppers are used they must be a minimum of 4" tall. There should be one secondary overflow drain for each primary drain inlet.

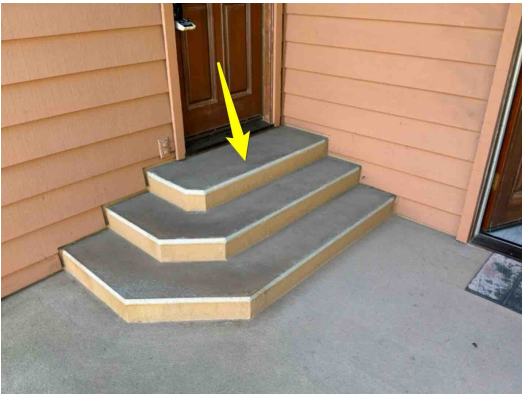
DS 58: Waterproof deck found to be installed a little too high at the door thresholds at the FRONT ENTRY DECK. There should be a minimum of 2 inches between the bottom of the siding and door threshold to the surface of the deck. This could potentially lead to deterioration and water intrusion. Contact a waterproof deck professional for additional comments and recommendations.



FI 59: Suspected leaking of the waterproofing at the FRONT ENTRY WATERPROOF DECK. Stains and moisture damage noted on the underside of the waterproof deck. Recommended further review and opinion by a licensed waterproof decking contractor familiar with water testing and/or leak detection standards to determine if deck is actively leaking and if repairs are warranted.



UPG 60: Missing / Recommend a proper 3-foot exterior door landing per standards off the FRONT ENTRY exterior door TO THE UPSTAIRS BONUS ROOM



DECK RAILING COMMENTS

MR 61: Front Entry Deck railings appear serviceable. However, Deteriorated paint and caulking. Some general maintenance recommended.

Deck # 2

LOCATION & TYPE

62: DECK LOCATION: **WEST SIDE YARD LOWER DECK**

DECK TYPE: Wood Framed - Wood Planks



WOOD DECK COMMENTS

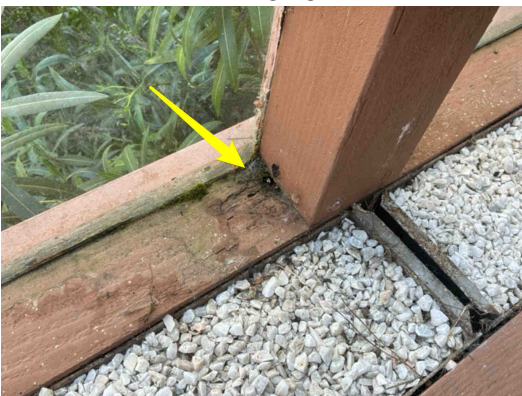
E&C 63: Some moisture and/or bug-type damage and deterioration found at areas of the wood decking and/or wood deck railings: WEST SIDE YARD LOWER DECK . *Refer to the termite report for additional comments and recommendations.*

UPG 64: Earth-to-wood contact visible at areas of the WEST SIDE YARD LOWER DECK wood framing.

DS 65: *Portions of the underside of the WEST SIDE YARD LOWER DECK are not visible or accessible as areas of the wood deck are installed on or at grade level. Type and condition of deck framing are unknown at inaccessible areas. A wood framed deck constructed on the grade generally has a shortened overall life, as it reduces the airflow under the deck allowing fungus and other wood destroying organisms to break down the wood framing members more rapidly. This deck is inspected from the surface only.*

DECK RAILING COMMENTS

E&C 66: Some moisture stains and damage noted at areas of the railings at the WEST SIDE YARD LOWER DECK Wood and Glass railing / glass wall. Refer to termite report for additional comments and recommendations.



Example

SU DS 67: Unable to verify if glass walls and ceiling at the WEST SIDE YARD LOWER DECK is tempered glass.
No visible watermark or stamp



Deck # 3

LOCATION & TYPE

68: DECK LOCATION: **EAST SIDE LOWER WOOD DECK - OFF THE CRAWLSPACE ACCESS DOOR**

DECK TYPE: Wood Framed - Wood Planks



WOOD DECK COMMENTS

E&C 69: Some moisture and/or bug-type damage and deterioration found at areas of the wood decking and/or wood deck railings: EAST SIDE LOWER WOOD DECK . *Refer to the termite report for additional comments and recommendations.*

DECK RAILING COMMENTS

MR 70: Deck railings appear serviceable.

Deck # 4

LOCATION & TYPE

71: DECK LOCATION: **UPSTAIRS DECK OFF THE DINING ROOM**

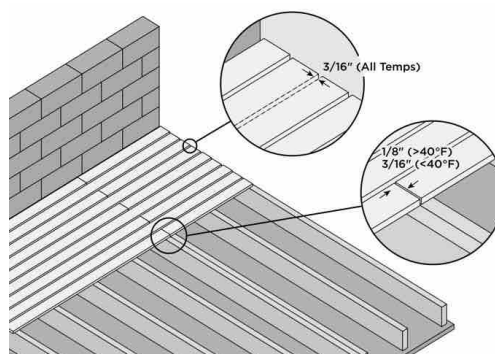
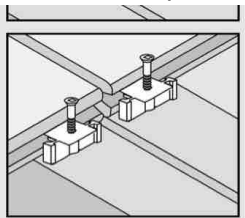
DECK TYPE: Wood Framed - Synthetic Planks

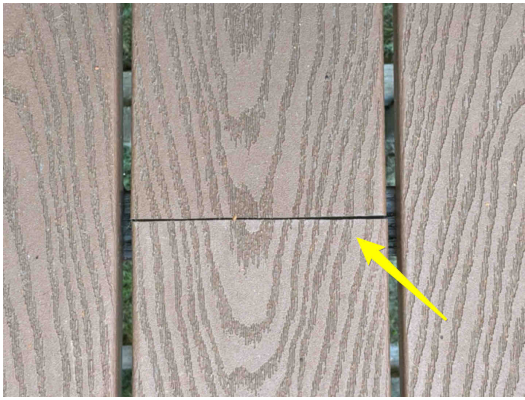


WOOD DECK COMMENTS

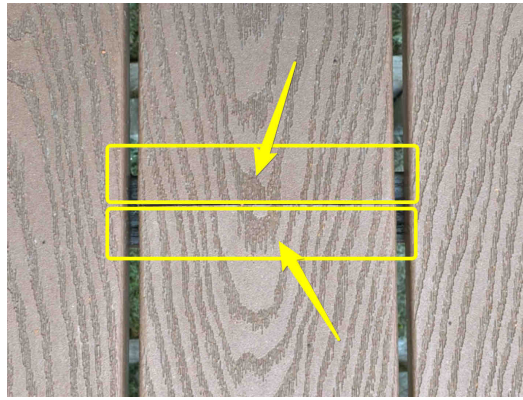
E&C 72: Installation of the UPSTAIRS DECK OFF THE DINING ROOM synthetic planks do not meet minimum installation standards. The end splices at the synthetic deck planks are required to have a minimum of 1-1/2 inch support under each side of the end splice. Currently the joints are only supported by splitting the single 1-1/2 inch joist and is supported by only 3/4 of an inch. Proper blocking at each splice per minimum standards is recommended per the installation requirements.

For butt joints, where boards meet over a single joist, add a 2" x 4" "nailer" board at the butt joint. This allows screw-in at 90 degrees and allows fasteners to be used at end of each board.





Joints at synthetic decking cannot split a single floor joist

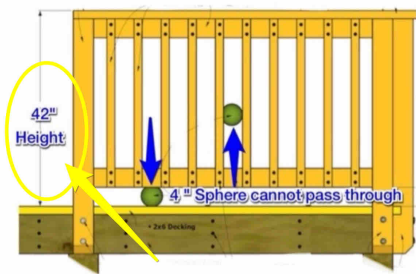


Joints at synthetic decking cannot split a single floor joist

DECK RAILING COMMENTS

73: Deck railings appear serviceable.

SU 74: The height of the deck railings at the UPSTAIRS DECK OFF THE DINING ROOM do not meet current standards. Upgrades Recommended for safety.

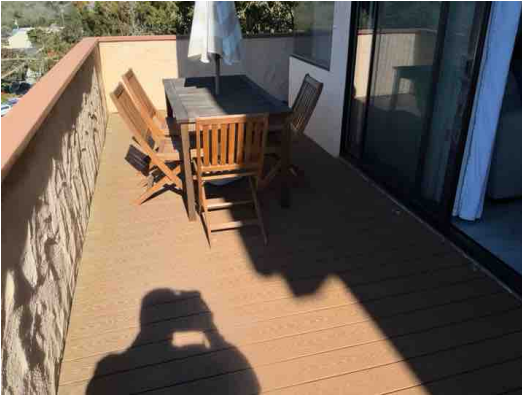


Deck # 5

LOCATION & TYPE

75: DECK LOCATION: **UPSTAIRS DECK OFF THE FAMILY ROOM**

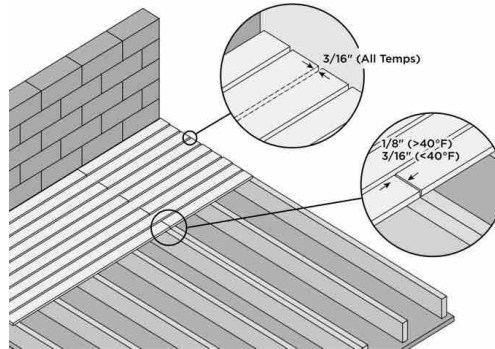
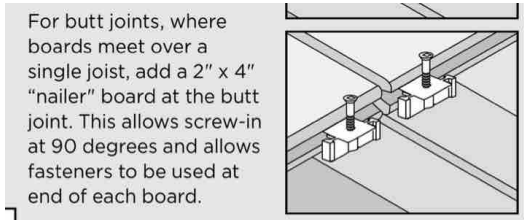
DECK TYPE: Wood Framed - Synthetic Planks



WOOD DECK COMMENTS

E&C 76: Some moisture and/or bug-type damage and deterioration found at areas of the wood decking and/or wood deck railings: UPSTAIRS DECK OFF THE FAMILY ROOM. *Refer to the termite report for additional comments and recommendations.*

E&C 77: Installation of the UPSTAIRS DECK OFF THE FAMILY ROOM synthetic planks do not meet minimum installation standards. The end splices at the synthetic deck planks are required to have a minimum of 1-1/2 inch support under each side of the end splice. Currently the joints are only supported by splitting the single 1-1/2 inch joist and is supported by only 3/4 of an inch. Proper blocking at each splice per minimum standards is recommended per the installation requirements.



Joints at synthetic decking cannot split a single floor joist

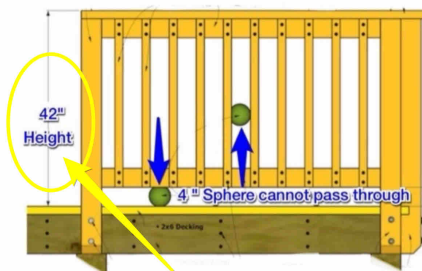


Joints at synthetic decking cannot split a single floor joist

DECK RAILING COMMENTS

78: Deck railings appear serviceable.

SU 79: The height of the deck railings at the UPSTAIRS DECK OFF THE FAMILY ROOM do not meet current standards. Upgrades Recommended for safety.



Deck # 6

LOCATION & TYPE

80: DECK LOCATION: **OFF THE UPSTAIRS PRIMARY BEDROOM**

DECK TYPE: Tiled and Waterproof



WATERPROOF DECK COMMENTS

E&C **UPG** **81:** Missing the proper secondary overflow drains at the tiled waterproof decking at the OFF THE UPSTAIRS PRIMARY BEDROOM per [CPC §1108.]. The secondary deck drain or scupper must have its inlets located at 2 inches above the primary deck drain inlet, should be below the door threshold, and discharge to a conspicuous above grade location to serve as a visible warning of blockage. Evaluation and correction by a qualified licensed contractor is advised. If scuppers are used they must be a minimum of 4" tall. There should be one secondary overflow drain for each primary drain inlet.

TILED WATERPROOF DECK

DS **82:** Performing water testing and determining if the waterproofing of the deck and flashings are beyond the scope of this inspection. This inspection is only a visual inspection of the tiled surfacing and exposed visible metal flashings. Maintenance and inspection of the deck should be performed annually.

FI DS 83: Disclosure: Areas of the OFF THE UPSTAIRS PRIMARY BEDROOM tiled waterproofed deck were improperly installed at or above exterior siding, door trim and/or exterior door threshold. A minimum of 2 inches is needed from the bottom of the door threshold to the top of the tile unless other specific upgrades were performed during construction. This could lead to water intrusion inside the building. Recommend monitoring, maintenance and upgrades to help ensure water tightness and integrity of the walls and door thresholds.



Example

84: Inadequate quantity of deck drains provided for the tiled waterproof deck OFF THE UPSTAIRS PRIMARY BEDROOM.



A single scupper drain

85: Some unusual calcification found at some of the grout joints at areas of the tiled waterproof deck OFF THE UPSTAIRS PRIMARY BEDROOM. Cause and condition should be investigated by a licensed waterproof deck installation contractor or a licensed tile install installation contractor.





Grading

Geological conditions and site stability are outside the scope of this inspection. For further information contact a licensed civil engineer. Off-site water (i.e. street water, water from a neighboring property, or sub-surface water) influences onto this property are outside the scope of this inspection and are not addressed. If concerned, have evaluated by a licensed geotechnical engineer.

SITE SLOPE

86: Areas of Moderate Slope

COMMENTS

E&C 87: Recommend some proper landscape grading and maintenance along areas of the exterior. This should help ensure the proper flow of site water away from the building(s) and off the property. This will also help prevent an excessive moisture condition and help maintain the proper clearances from the interior floor level, and/or the exterior stucco, wood or other siding to the top of soil. Trim trees and bushes that are making contact with areas of the exterior siding, trim and/or roof.

MR 88: Plants and/or trees touch the buildings exterior. Proper landscape maintenance needed.



E&C MR 89: Soil level found high at areas of the perimeter along the foundation. (Recommend 6 inches from the bottom of the interior floor level and all wood wall framing to the exterior dirt, rock, mulch or wood chips).



Example

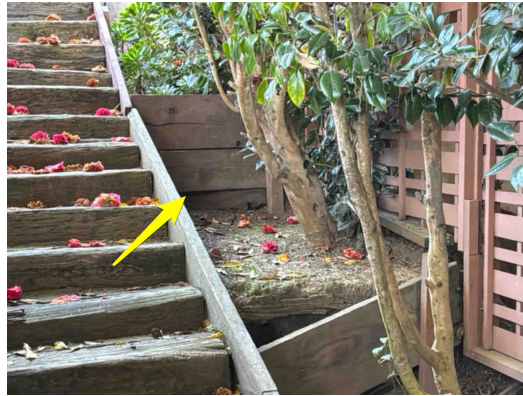


Retaining Walls

Inspection of retaining walls is only visual per CREIA standards. Engineering of retaining walls is not performed and is outside the scope of this inspection.

90: Wood

Disclosure: Wood retaining walls have a limited lifespan and will eventually need to be repaired or replaced. Client is advised to continue to monitor and repair or replace as needed.



91: Stacked Railroad Tie retaining wall



Example



E&C 92: Some moisture damage, deterioration, and/or leaning of the railroad tie wood retaining walls. *Be aware that wood retaining walls have a limited lifespan and will warrant eventual replacement. Monitor all wood walls and upgrade or repair as needed.*

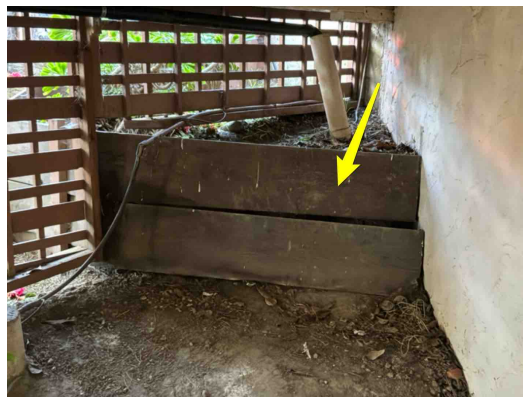


Example

E&C 93: Some moisture damage, deterioration, and/or leaning of the wood retaining walls. *Be aware that wood retaining walls have a limited lifespan and will warrant eventual replacement. Monitor all wood walls and upgrade or repair as needed.*



Example



Example



Foundation

Notice: No engineering of the foundation or any structural component is performed. Areas of the perimeter foundation are not visible. Some typical and common cracks noted in the perimeter foundation. Client is advised to monitor cracks to help determine if future movement or conditions occur.

FOUNDATION TYPE

DS 94: Raised Foundation with Crawlspace

Disclosure: Be aware that some crawlspaces may contain toxins from current or past animal or critter intrusion, molds, fungus or other issues arising from past moisture or water intrusion which may negatively affect the overall air quality within the crawlspace and living spaces. Determining the air quality inside the home and crawlspace is outside the scope of this inspection. All parties should perform their own due diligence until satisfied as to the air quality inside the living spaces.





DS 95: Disclosure: Some typical and common cracks noted at visible areas of the perimeter foundation. Client is advised to measure and monitor cracks to determine if future movement occurs.

96: CRAWLSPACE CONDITION: No visible significant defects noted in the crawlspace area.

Note: Not all areas of the crawlspace may be visible or accessible due to conditions such as insulation or lack of access. Refer to the Termite report for additional comments and/or recommendations.

FI 97: Some water stains noted on the underside of the wood framing in areas of the crawlspace under some exterior doors, bathrooms and/or kitchen. Refer to the Termite report for additional comments and recommendations as to the exact location, extent, and if repairs are needed.

98: CRAWLSPACE VENTILATION: Appears adequate.

Determining the precise quantity of crawlspace ventilation openings is not calculated and is outside the scope of this inspection. The determination of adequate ventilation is by visually inspecting the overall condition throughout the visible and accessible areas of the crawlspace. This would include inspecting the metal components within the crawlspace for excessive rusting or if there is an unusual moisture condition, such as high humidity, mold, an inordinate amount of fungus growth on the wood framing not from a water leak, or other issues related to an excessive moisture condition caused by the inadequate amount of ventilation in the crawlspace.

99: ANCHOR BOLTS: Some Foundation anchor bolts noted in areas of the crawlspace. *Anchor bolts not fully visible.*

100: Areas of the foundation have cripple walls with **some** plywood sheer paneling provided in visible areas of the crawlspace.



101: Installed in areas of the foundation system: Wood Posts on Concrete base



INSULATION

102: Insulation is installed IN SOME AREAS in the crawlspace: (approx.) 4-6 inches thick

Note: *Crawlspace framing is not fully visible due to the insulation. A full evaluation for moisture and/or bug type damage is warranted / recommended by a licensed Termite Inspection Co.*

MR 103: Some loose, hanging or missing insulation in areas of the crawlspace.

RAISED FOUNDATION NOTES

SU 104: Evidence of past rodents or other critters living in the crawlspace and/or other areas (visible droppings). Contact a qualified pest control professional for additional comments and recommendations. Determining if condition is old or active is outside the scope of this inspection.

Roof

This inspection of the roof covering and components such as flashings and skylights is not intended to be technically exhaustive per CREIA standards. Meaning that if defects are found it is recommended to have the entire roof completely re-evaluated by a licensed roof contractor familiar with the current minimum installation requirements. Be aware that additional defects may be discovered during a more comprehensive evaluation by the licensed roofing professional. There should be no more than 2 layers of roofing on a building per standards.

ROOF STYLE

105: Flat or Low Slope



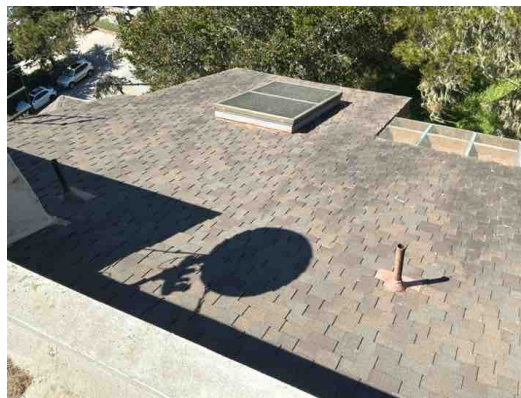
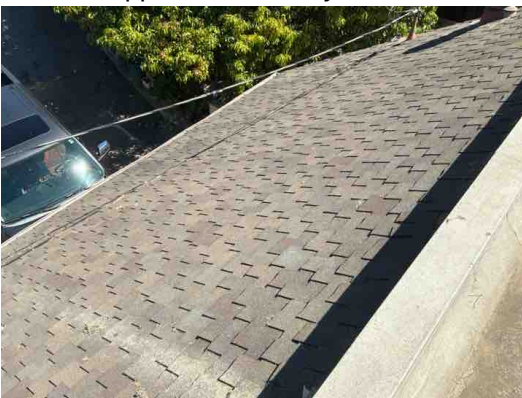
106: Single Slope

ROOF MATERIAL TYPE

MR 107: Asphalt Shingle

Average life expectancy of this roof material: 50 years

There is Approx. 10-15 +/- years of visible wear



MR 108: COATED - Rolled Composition

Average life expectancy of this roof material: 25 years

There is Approx. 15-18 years of visible wear

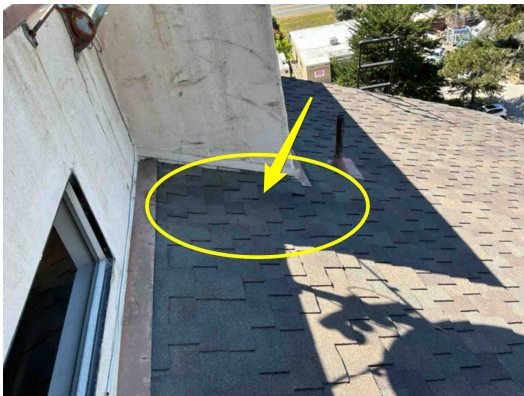


ASPHALT COMPOSITION SHINGLE COMMENTS

109: ROOF CONDITION: The Asphalt Composition roof material appears to be within its useful life and in good condition for its age.

However, this is not a warranty or guarantee that the roof does not leaks or other future conditions might exist. This is only a physical inspection of the visible areas of the roof system.

SC FI 110: An unusual soft spot found at the roof framing. Some excessive moisture damage to the roof sheeting and possibly the roof attic framing with a large dip in the roof shingles: **OUTSIDE THE KITCHEN WINDOW OVER THE UPSTAIRS BONUS ROOM OVER THE GARAGE.** Recommend additional review by licensed roofing contractor.



Unusual soft spot in the roof framing. Suspected moisture damage



FLAT / LOW SLOPE ROOF COMMENTS

FI DS 111: Disclosure: Small areas of ponding water/ past ponding water on roof noted.



FI MR 112: Some debris buildup on areas of the roof and/or roof drainage inlets. Areas not fully visible. Continuous maintenance / cleaning warranted to help prevent roof leakage.



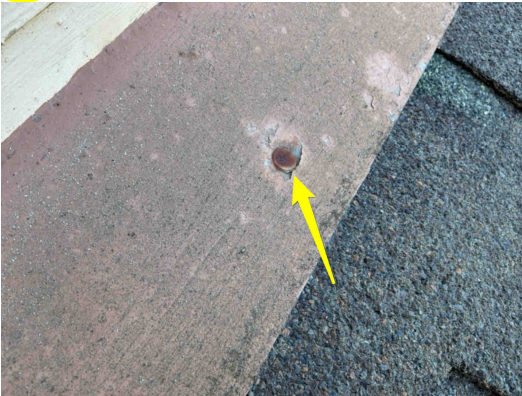
Flashings

Roof flashings, transitions, and skylights are not water tested for leakage. This is a visual inspection of the roof and its components per CREIA standards. All roofs require continuous and ongoing maintenance. Recommend having the roof serviced regularly by a qualified professional. Contact a licensed roofing professional for recommendations.

ROOF FLASHING

E&C MR 113: ROOF FLASHING CONDITION: Some roof flashing were found to be needing maintenance, servicing and/or repair. Contact a qualified roofing professional to review all roof flashings and provide maintenance and/or repairs as needed.

MR 114: Recommend sealing all exposed nails at areas of roof/ roof flashing.



Example

E&C MR 115: Some lifting roof flashings. Corrections, maintenance or repairs are recommended to help prevent water intrusion and/or roof leakage from windy, wet weather.



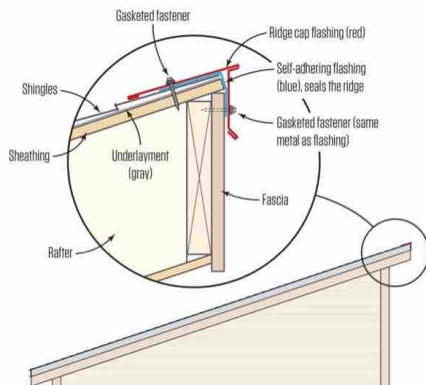
Example



Example. At some head wall flash

FI 116: Some roof flashings found rusted and deteriorated. Maintenance or replacement of deteriorated and damaged roof flashings are recommended.

E&C 117: Missing a proper cap flashing at the top exposed area of the asphalt shingle single slope roof at some small areas .



SKYLIGHTS

E&C 118: The openable plastic roof skylights is cracked and damaged in the UPSTAIRS BONUS ROOM OVER THE GARAGE. Replacement is recommended. Contact a qualified roofer to evaluate and replace damaged skylights.

Gutters

RAIN GUTTERS

DS 119: Type: Partial rain gutter installation. *Recommend installation of rain gutters and areas not installed. This will help to manage the flow of water off the roof. Upgrades Recommended.*

UPG 120: No rain gutter guards / screens installed. Upgrades recommended.

RAIN GUTTER COMMENTS

MR 121: Recommend typical rain gutter maintenance: cleaning, sealing, and re-fascinating loose gutters and downspouts.

122: Some damaged and dented rain gutters.



Example

Attic

Areas of the attic framing, drywall, electrical, plumbing, etc., are not fully visible or accessible due to the attic insulation and the areas of the attic that are too small for safe access. Refer to the Termite Report for additional comments and recommendations.

ATTIC ACCESS LOCATION

DS 123: Disclosure: No accessible attic or No attic access found or provided in this home.

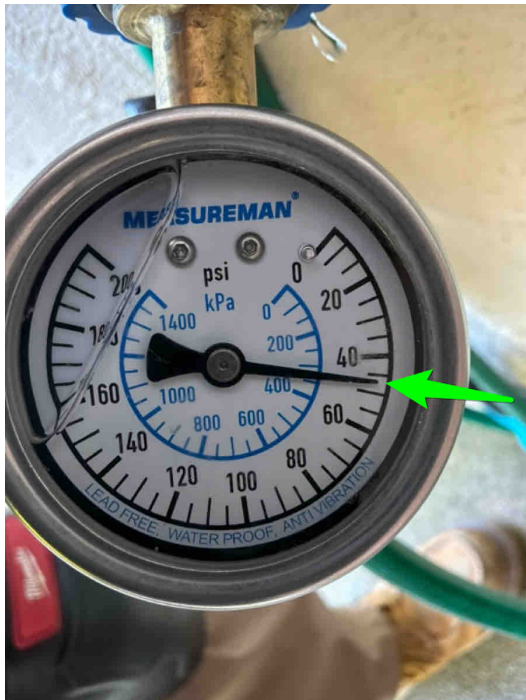
Plumbing

This inspection of the water supply system, waste system and its fixtures and components is not intended to be technically exhaustive per CREIA standards, meaning that if a specific system or component is found to have a single defect it is recommended to have the entire system and its components evaluated by a qualified plumbing professional. Be aware that additional defects may be discovered during a more specific or directed evaluation by a licensed plumbing contractor.

MAIN WATER SUPPLY

124: Approx. water pressure PSI: 45

Maximum water pressure for CAMBRIA is: 50 psi.



TYPE OF WATER PIPING

125: Type(s) of water supply piping that could be seen at the time of the inspection (other plumbing materials may be present but were not discovered at this time):

126: Copper

WATER SUPPLY PIPING

127: The visible areas of the water supply piping appears to be within useful life. *Pipes are not fully visible.*

128: Disclosure: *Pipe conditions inside walls, under insulation in the attic, underground or under the slab, and all inaccessible areas which are not readily accessible and visible are not inspected. Connections and conditions cannot be judged. Water testing not performed.*

E&C 129: Some moderate corrosion noted at areas of the copper water supply piping in the crawlspace.



HOSE FAUCETS

130: Operated when tested.

MR 131: Some exterior hose faucets leak at handle when on.

UPG 132: Anti-siphon valves are missing / recommended on all exterior hose faucets per Cambria requirements.



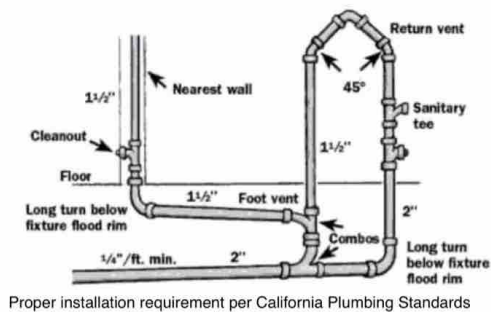
Example of an anti-siphon valve on a hose faucet

WET BAR

133: Wet bar sink found in the LAUNDRY ROOM. Faucet, counter, and plumbing under sink appears serviceable.



E&C **UPG** **134:** It is not recommended and is considered improper to install a 2 elbows to create the top of the vent at the kitchen wet bar "island" vent. However, the wet bar sink appears to be draining properly at this time.



WASTE PIPING TYPE

135: Type(s) of waste water drain piping that could be seen at the time of the inspection (other piping materials may be present or used underground which are not visible at this time):

136: ABS and PVC

WASTE/SEWER PIPE CONDITION

137: **The visible areas of the waste piping used for this building are within its useful life expectancy.**

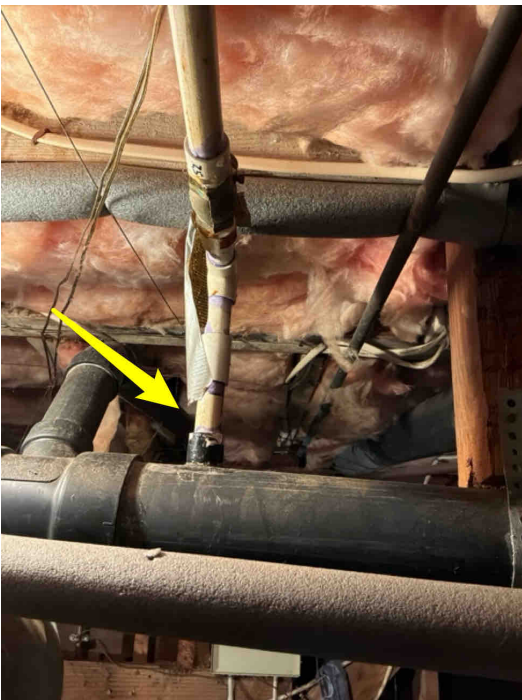
However, waste pipes are not fully visible. Pipe conditions inside walls, inaccessible areas, under the insulation and under the ground or slab cannot be judged or determined. Water testing not performed.

Note: Buildings should have the underground waste and sewer lines scoped by a plumber to determine condition as part of the inspection process.

FI 138: Corrosion with evidence of past leaking noted on areas of the waste piping and fittings in areas of the crawlspace. Recommend further review of the waste piping throughout the crawlspace with cleanup and correction by qualified plumbing professional to help prevent additional future leakage.

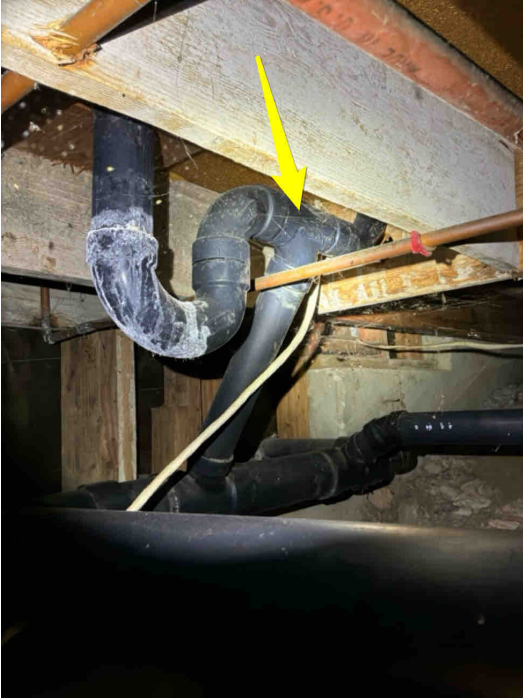


SC 139: Open waste or sewer line needing to be repaired or capped: WHERE THE OLD UNUSED WATER SOFTENER DRAIN PIPE WAS IMPROPERLY INSTALLED DIRECTLY INTO A SEWER PIPE IN THE CRAWLSPACE.



E&C 140: Some sewer pipes lack proper support in areas of the crawlspace. Contact a plumber to evaluate and correct as needed.

E&C 141: Improper waste piping found in the crawlspace at under a bathroom at a shower drain.



This will be considered an improper S Trap

SEWER EJECTION SYSTEM

FI **DS** 142: [A sewer ejector system installed for the waste system.](#) *Testing and inspection the sewer ejector system is outside the scope of this inspection as it takes special equipment and the covered tank is full of sewage. Recommended inspection and testing by a qualified septic professional.*

Fuels

FUEL TYPE

143: Gas shut-off appears serviceable.

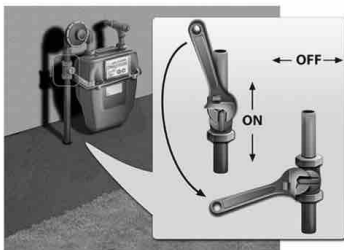
Disclosure: Gas piping and valves not tested during this inspection (visual inspection only).



Main gas shut off valve

144: Natural Gas. **Location of main Gas shut-off :** EXTERIOR - EAST SIDE OF THE HOME

Client is advised to have All fuel-burning appliances (such as furnaces, water heaters, boilers, fireplaces, and gas dryers, etc.) inspected and serviced at least once per year by a qualified technician or the local gas utility provider. Regular inspection helps ensure proper combustion, safe venting, and detection of potential gas leaks or carbon monoxide hazards, and helps maintain safe and efficient operation of the equipment.



CAUTION: If you turn off your natural gas at the meter, leave it off. Do not turn it back on yourself.

Water Heater

The average life of a tank type water heater is 6-10 years. Water heaters may begin to leak or quit working without warning. Client should visually inspect the water heater regularly to help ensure good condition and that the water heater is free from leakage or corrosion.

Determining size and gpm/ adequate hot water volume is beyond the scope of a home inspection.

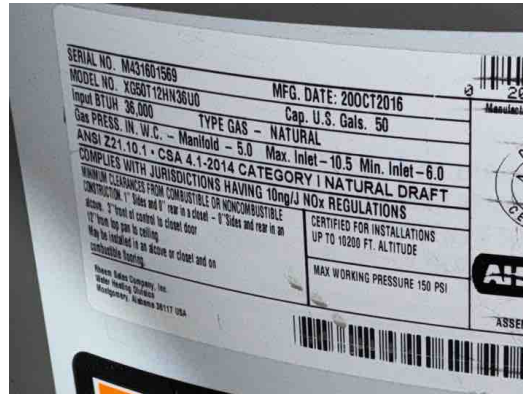
WATER HEATER INFORMATION

145: Water Heater Location: CRAWLSPACE

Date: 2016

Size: 50 Gallons

Fuel Type: Natural Gas



WATER HEATER CONDITION

146: Water Heater Operated when tested.

COMBUSTION AIR

147: Proper amount of combustion air.

STRAPPING

148: The Water Heater is strapped and/or braced satisfactorily to prevent movement.

TPR PIPING

149: The visible areas of the Water Heater TPR (Temperature Pressure Relief) pipe and valve appear serviceable in good condition. *TPR Valve not tested.*

VENT PIPING

SC 150: Evidence of some minor back-venting of the water heater vent system. Some melting of the insulation around hot and/or cold water supply piping atop the water heater.



SC 151: Water heater vent connector pipe (single-wall) is not properly fastened with the required 3-fasteners at each connection including the draft hood per standards.

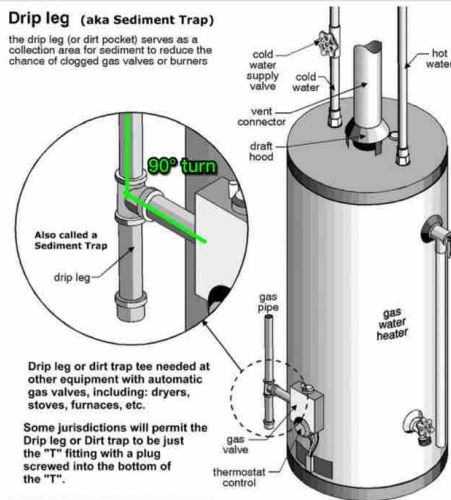


PLATFORM ENCLOSURE

152: The visible areas of the Water heater enclosure and/or platform appears serviceable.

GAS PIPING

SU 153: Recommend the installation of the missing sediment trap / drip leg at the WATER HEATER gas piping at flex connection by a certified or licensed plumbing professional familiar with minimum requirements. [CPC 1212.8]



SHUTOFF

154: Cold Water heater shutoff valve installed. *Valve not tested.*

Kitchen

MAIN HOUSE

LOCATION



SINK

156: The kitchen sink appears serviceable with typical wear for its age.

157: Plumbing under the kitchen sink appears to be installed correctly and is functioning.

DS 158: Disclosure: *Restricted view below kitchen sink (areas not fully visible). Do a secondary check carefully once kitchen cabinets are empty.*

DISHWASHER

159: Dishwasher operated when tested.

Disclosure: *Unable to determine if dishwasher is leaking in areas not visible.*

160: Doors, seals and racks appears serviceable.

161: Drain line appears serviceable.

CABINETS & COUNTERS

162: Appear serviceable.

DS 163: Disclosure: The areas behind the kitchen cabinetry, refrigerator, dishwasher and range or ovens are not accessible, not visible and not inspected.

DS 164: Kitchen counters & cabinets have typical wear.

DS 165: Disclosure: *Kitchen counters and cabinets are not fully visible due to occupant's belongings. Do a careful check during final walkthrough and areas are evacuated and cleaned. If defects are discovered contact our office to evaluate and document condition.*

DISPOSAL

166: Operated when tested.

COOKTOP HOOD

167: Kitchen cooktop hood, exhaust fan and light operated when tested.

MR UPG 168: The screen in the exterior termination cap for the kitchen cooktop exhaust vent hood system found a little blocked or clogged. Upgrades recommended.



COOKTOP

169: The cooktop is Natural Gas and operated when tested



SU 170: Deteriorated labeling of the kitchen cooktop knobs. Deteriorated labeling at kitchen cooktop knobs, in some cases, can be considered a safety hazard as an occupant may not know where the actual or proper OFF is located which can lead the occupant to accidentally leave the cooktop on.



OVEN

171: Both of the *ELECTRIC OVENS* operated when tested.

Disclosure: *The testing of the oven thermostat for temperature accuracy is outside the scope of this inspection.*



KITCHEN SPECIAL FEATURES

MR 172: Trash compactor operated when tested.

E&C MR 173: The trash compactor makes an unusual noise when running.

UPSTAIRS ROOM OVER THE GARAGE

LOCATION



SINK

175: The kitchen sink appears serviceable with typical wear for its age.

176: Plumbing under the kitchen sink appears to be installed correctly and is functioning.

DS 177: Disclosure: *Restricted view below kitchen sink (areas not fully visible). Do a secondary check carefully once kitchen cabinets are empty.*

CABINETS & COUNTERS

178: Appear serviceable.

DS 179: Disclosure: The areas behind the kitchen cabinetry, refrigerator, dishwasher and range or ovens are not accessible, not visible and not inspected.

DS 180: Kitchen counters & cabinets have typical wear.

DS 181: Disclosure: *Kitchen counters and cabinets are not fully visible due to occupant's belongings. Do a careful check during final walkthrough and areas are evacuated and cleaned. If defects are discovered contact our office to evaluate and document condition.*

DISPOSAL

182: Operated when tested.

COOKTOP HOOD

183: Kitchen cooktop hood and exhaust fan operated when tested.

E&C MR 184: The UPSTAIRS BONUS ROOM OVER THE GARAGE Kitchen cook top exhaust hood light non-operational.

COOKTOP

185: Cooktop is Electric and operated when tested.

OVEN

186: The *ELECTRIC OVEN* operated when tested.

Disclosure: *The testing of the oven thermostat for temperature accuracy is outside the scope of this inspection.*



Laundry

LAUNDRY LOCATION:

187: LAUNDRY



LAUNDRY TYPE

DS 188: Disclosure: The drain pipe and hot and cold water supply shut offs installed for the laundry are visually inspected but are not tested.

189: Gas available for laundry dryer

190: Laundry dryer vent provided.

However, vent system is not fully visible or tested. It is recommended that the laundry dryer vent system, vent pipe and cap be cleaned regularly to avoid excessive lint buildup, which is a potential fire hazard.

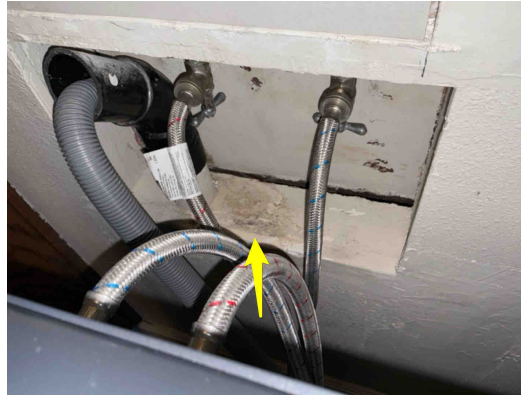
LAUNDRY COMMENTS

191: Disclosure: *The laundry washers and/or dryers are not tested or inspected as they are considered personal property and are not a permanently installed appliance. If the laundry machines are being transferred with the sale of the property, client should perform due diligence to ensure the proper and safe operation of the washer and dryer within the clients inspection period.*

DS 192: Area behind and under the laundry machines is not fully visible and not inspected at this time due to laundry machines themselves. Conditions are not fully known. Client should inspect area and satisfy themselves as to the overall condition prior to the close of escrow once the laundry machines have been moved out.

193: Disclosure: No visible 240-volt outlet found or provided for laundry .

FI 194: Evidence of past water stains and damage on the drywall behind the laundry machines below the washing machine drain pipe. Area found dry today. Client should investigate further as to the cause, current condition, potential future issues and correct if needed.



DRYER VENTING

MR 195: Recommend cleaning and servicing the laundry dryer vent system, pipe and cap for safety as part of typical ongoing maintenance.

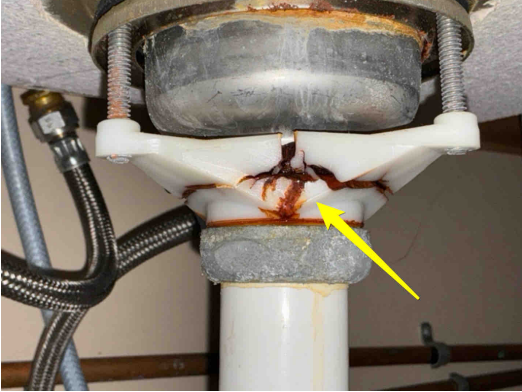
LAUNDRY ROOM UTILITY SINK

196: Utility sink appears serviceable.



197: The utility sink faucet operated when tested.

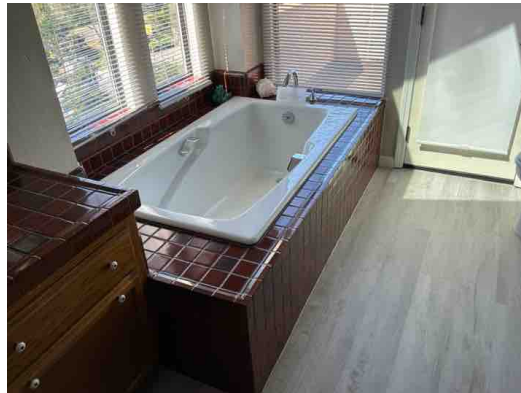
E&C 198: The connection of the LAUNDRY ROOM Utility sink drain pipe to the sink found cracked and damaged with evidence of ACTIVE leaking or water. Recommend for the repairs by a licensed plumbing professional.



Bathrooms

BATHROOM LOCATIONS

199: PRIMARY BEDROOM BATHROOM





200: UPSTAIRS HALL BATHROOM



201: UPSTAIRS BONUS ROOM OVER THE GARAGE BATHROOM



TOILETS

202: Operated when tested.

203: Toilets are 1.28 gallon per flush

MR 204: Recommend caulking at base of all toilets where not installed.

FI 205: Moisture stains and/or damage at the baseboard behind and/or around the toilet: PRIMARY BEDROOM BATHROOM. Conditions behind the baseboard are unknown.



Example

DS 206: Toilet alcove found a under sized and does not meet the minimum 30-inches wide: UPSTAIRS BONUS ROOM OVER THE GARAGE BATHROOM



SINKS

207: Bathroom sink faucet and drain operated when tested.

Disclosure: *The operation and condition of the sink drain stoppers are outside the scope of this inspection and are not tested. Any and all comments made regarding sink drain stoppers are informational only and may only be specific to a single sink.*

DS 208: Disclosure: *Restricted view in the bathroom cabinets and countertop due to occupant's belongings. Check areas carefully once areas are evacuated and cleaned. If defects are found contact our office to evaluate and document condition.*

MR 209: Disclosure: *Drain stoppers do not operate, are missing or do not operate well at some bathroom sinks. General maintenance recommended.*

VENTILATION

210: Appears adequate.

BATHTUBS

211: Operated when tested.

SHOWERS

212: Showers operated when tested.

Determining the water tightness and integrity of the shower pans and walls, determining conditions behind tile or enclosures at the tubs and showers is outside the scope of this inspection as areas not visible or readily accessible. Unable to verify or determining if the tile or enclosures were installed per manufacturer's installation instructions.

-

MR 213: The grout in the DOWNSTAIRS HALL BATHROOM shower is deteriorated, maintenance recommended.

E&C 214: Glass shower door rubs and sticks a little: UPSTAIRS BONUS ROOM OVER THE GARAGE BATHROOM

215: The shower enclosure does not meet minimum standards. Low headroom: UPSTAIRS BONUS ROOM OVER THE GARAGE BATHROOM

GENERAL BATHROOM COMMENTS

E&C 216: Disclosure: *Bathrooms and/or kitchen and/or other required plumbing fixtures or appliances do not meet ALL Cambria's minimum low flow requirements. Refer to the Cambria Services District website for additional information. Recommend evaluation and upgrades by a licensed plumber.*

FIXTURE	RETROFIT REQUIREMENT
TOILETS	1.28 gallons per flush (gpf) or dual flush of 1.6 gpf. ²
SHOWER HEADS	1.5 gallons per minute (gpm) flow plus shutoff valve located on or near the showerhead.
PRESSURE REGULATORS	Shall be installed and set at 50 pounds per square inch maximum at all locations served by the District's water distribution system.
FAUCETS	Kitchen/Bar/Utility sinks shall be equipped with faucet aerators or flow control valves at the angle stop and be of a design that limits the maximum flow to 1.5 gpm.
	Lavatory sinks shall be equipped with faucet aerators or flow control valves at the angle stop that limit the maximum flow to 0.5 gpm.
	Hose bibs shall be equipped with restrictor and anti-siphon valves (vacuum breakers) that limit the maximum flow to 4.0 gpm.
DISHWASHERS & WASHING MACHINES	Residential/Commercial ³ clothes washers shall be ENERGY STAR certified and have a water factor of no greater than 4.0. Residential dishwashers shall be ENERGY STAR certified and shall use no more than 3.5 gallons per load. Commercial dishwashers shall be reviewed by the CCSD prior to installation. Visit www.energystar.gov/products/ to search for appliances that meet the above requirements.

For questions about this handout please contact the CCSD at (805) 927-6223.

BATHROOM, KITCHEN WATER USE

217: DOWNSTAIRS HALL BATHROOM

Toilet gpm: 1.28

#of sinks: 1

Sink faucet gpm: .5

Shower head gpm: @ 2.5 gpm. The + 1.5 - Does not meet the minimum Cambria (CSD) water restriction requirements.

Kitchen sink faucet gpm: 1.5

218: PRIMARY BEDROOM BATHROOM

Toilet gpm: 1.28

#of sinks: 1

Sink faucet gpm: .5

Shower Head gpm: @ 2.5 gpm. The + 1.5 gpm AND missing added head shut off - Does not meet the minimum Cambria (CSD) water restriction requirements.

219: UPSTAIRS BONUS ROOM OVER THE GARAGE BATHROOM

Toilet gpm: 1.28

#of sinks: 1

Sink faucet gpm: .5

Shower Head gpm: @ 2.5 gpm. The + 1.5 gpm AND missing added head shut off - Does not meet the minimum Cambria (CSD) water restriction requirements.

Interior

Any comments as to water intrusion is not intended to be technically exhaustive per CREIA standards, meaning that if some water intrusion is evident it is recommended to have all areas of potential water intrusion evaluated by a qualified water intrusion specialist, as this is a visual, non-destructive inspection to point out potential issues as they are apparent and visible at this time. Be aware that additional defects may be discovered during a more comprehensive evaluation.

Note: Windows or doors blocked by occupant's belongings, blinds, and/ or window-door coverings are not able to be fully inspected.

FRONT ENTRY DOOR

220: Operated when tested.

221: Weather stripping appears serviceable.

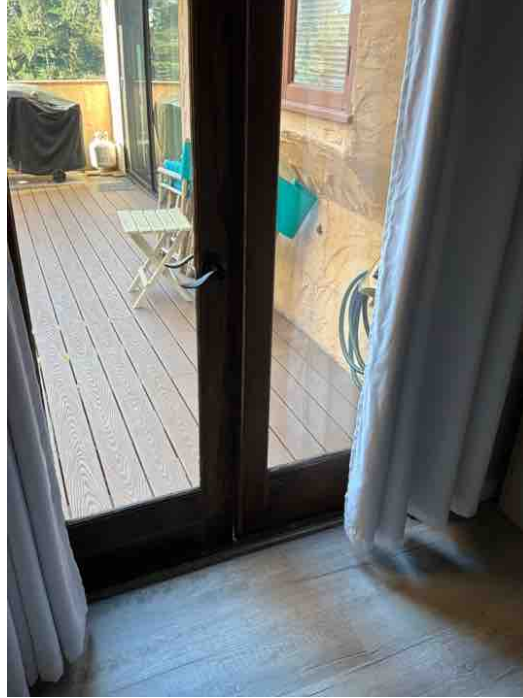
222: Door hardware operated when tested.

EXTERIOR DOORS

FI 223: Evidence of past minor water intrusion from around the PRIMARY BEDROOM BATHROOM exterior door with stains on the interior.



MR **UPG** **224:** Visible daylight noted around the DOWNSTAIRS BEDROOM exterior wood French doors. Installation of some weather stripping is recommended to help prevent water and critter intrusion.



SLIDING GLASS DOOR

E&C **225:** Exterior sliding glass door found difficult to operate. Adjustment or repair recommended: DOWNSTAIRS FAMILY ROOM

MR **226:** Disclosure: Damaged screens at some exterior sliding glass doors.

INTERIOR DOORS

227: Operated when tested.

E&C 228: The DOWNSTAIRS HALL CLOSET door AND the closet door at the top of the stairway to the UPSTAIRS BONUS ROOM OVER THE GARAGE are locked, not accessible not inspected.



WINDOWS

229: Aluminum / Single-Pane Glass

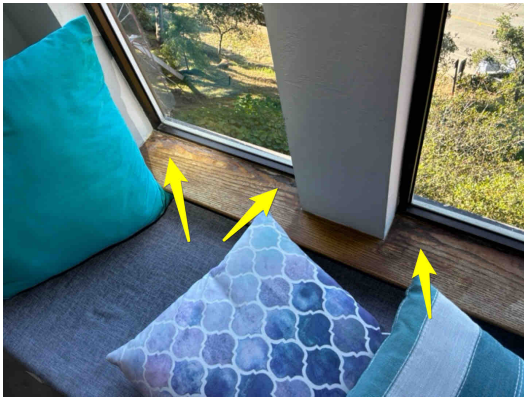
FI 230: Moisture stains on the inside at some window sills. Refer to the termite report for additional comments and recommendations.



Example



Example



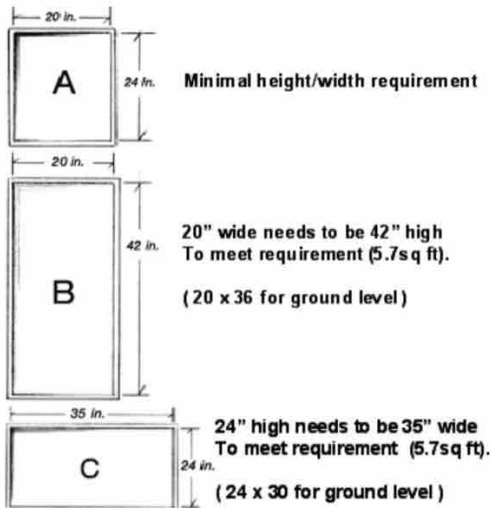
Example



Example

SC 231: Windows in the UPSTAIRS BONUS ROOM OVER THE GARAGE currently used as a sleeping room do not meet the current minimum fire egress standards.

Total window area needs to be 5.7 sq ft
 (5.0 for ground level)



SU 232: Disclosure: the windows at the interior stairway do not appear to be tempered glass for safety. Upgrades recommended to help prevent damage to the window or accidentally crashing through if a fall were to occur



FLOORING

233: TYPE: Vinyl or laminate planks

234: TYPE: Vinyl / Linoleum

235: TYPE: Carpet

CEILING TYPE

236: Drywall

WALL TYPE

237: Drywall

238: Wood

WALLS AND CEILINGS

239: The general overall physical condition of the interior walls and ceilings appear to be good with some typical and common cracks.

Note: Determining the indoor air quality is outside the scope of this inspection. All parties should perform their own due diligence until satisfied as to the air quality inside the living spaces to determine if it is within your own personal acceptable levels.

DS 240: Disclosure: Some typical and common cracks noted at the walls and ceilings throughout the interior. Client should monitor cracks as future additional movement may occur. Contact a qualified drywall professional for additional information with recommendations to upgrade or repair.

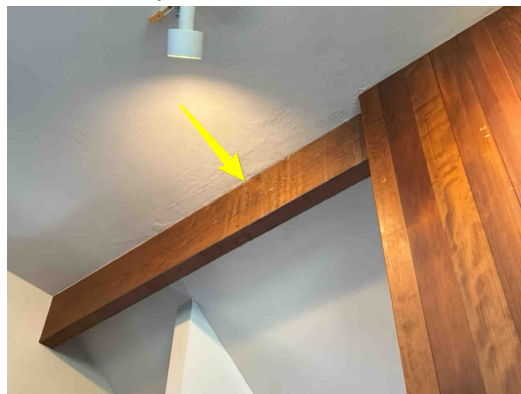
241: *The conditions inside walls, behind occupants' belongings, behind wallpaper or paneling, under flooring and areas not visible cannot be determined and are not inspected. Do a careful check during final walkthrough. Identification, investigation or recommendations regarding MOLD and/or the presence of MOLD are outside the scope of this inspection.*

242: Disclosure: *Furnishings, window coverings (such as drapes shades and shutters) and/or occupant's belongings prevent full inspection of the interior, closets and cabinetry. Client is advised to do a careful visual inspection prior to closing and contact our office for an additional inspection if suspicious conditions exist.*

FI 243: Evidence of moisture stains and/or damage at the walls in the UNDER THE WINDOW IN THE DOWNSTAIRS STAIRWAY. Recommend further review of the water stains to determine the cause, the current condition and if repairs are needed.



FI 244: Evidence of moisture stains at the beam PRIMARY BEDROOM. Recommend further review of the water stains to determine the cause, the current condition and if repairs are needed.



FI 245: Evidence of past moisture stains & damage at ceiling area AROUND THE SKYLIGHT AT THE INTERIOR STAIRWAY. Recommend further review of the water stains to determine the cause, the current condition and if repairs are needed.

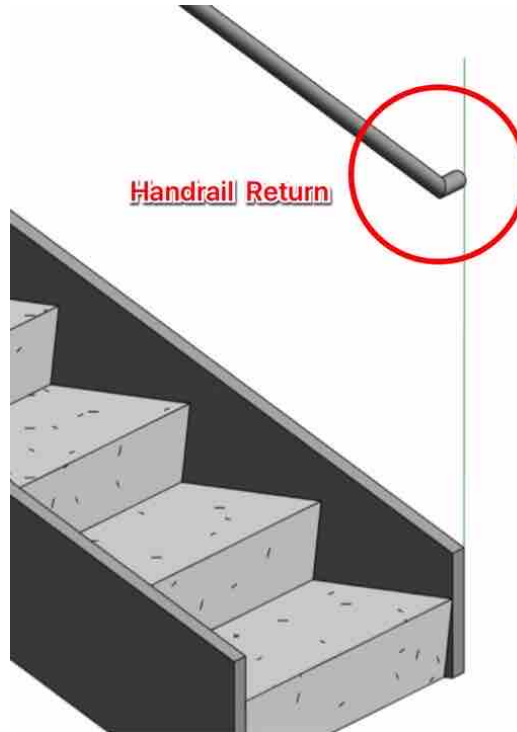


FI 246: Some unusual tearing of the drywall at areas of the interior inside the PRIMARY BEDROOM BATHROOM CLOSET. This appears to be from some type of movement or settlement of the framing and/or foundation system. It is advised to have a licensed engineer evaluate the cause, current condition and potential future issues.

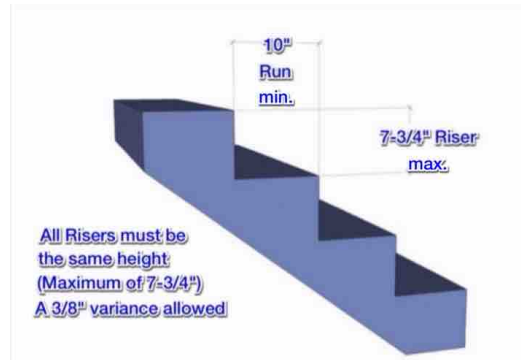


INTERIOR STAIRS

SU 247: Recommend returns at the interior stairway gripable handrails to the BONUS ROOM ABOVE THE GARAGE for safety per standards. A Return / turning the ends of the handrail into wall to help prevent catching coat or bag.



SC 248: The interior stairway to the UPSTAIRS BONUS ROOM OVER THE GARAGE does not meet minimum construction standards and may be a potential fall hazard. Stair treads are too tall and the step surface / tread is not deep enough per minimum standards. This can create a steep set of stairs.

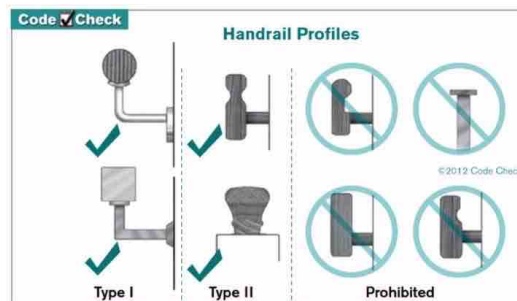
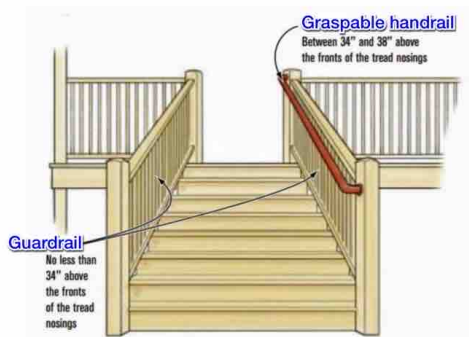


Interior Stairways

INTERIOR STAIRS

249: The MAIN HOUSE Interior Stairway is serviceable and in good condition.

SC 250: The gripable handrail at the MAIN HOUSE interior stairway does not meet current minimum safety standards.





Heating

This inspection of the heating system and components is not intended to be technically exhaustive per CREIA standards, meaning that if a specific system or component is found to have a single defect it is recommended to have the entire system and its components evaluated by a qualified HVAC professional. Be aware that additional defects may be discovered during a more comprehensive evaluation by an appropriate professional.

GENERAL INFO

251: LOCATION: CRAWLSPACE

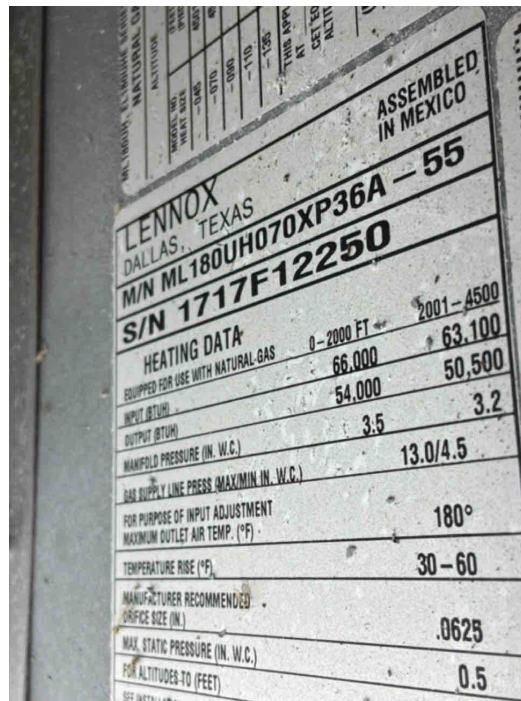
DATE: 2017

Approx. BTU RATING: 66,000

FUEL TYPE: Natural Gas

FURNACE TYPE: Gas Forced Air

Calculating or determining the size, efficiency, or adequacy of the heating system for this structure is outside the scope of this inspection.



SC 252: No permanently installed thermostatically controlled heat source found in the: UPSTAIRS BONUS ROOM OVER THE GARAGE - currently being used for living space and sleeping room. Recommend further evaluation and correction by qualified HVAC contractor.



CONDITION

253: HEATING SYSTEM CONDITION: The heating system operated when tested.

FURNACE FLAME

254: The Furnace flame appears serviceable.

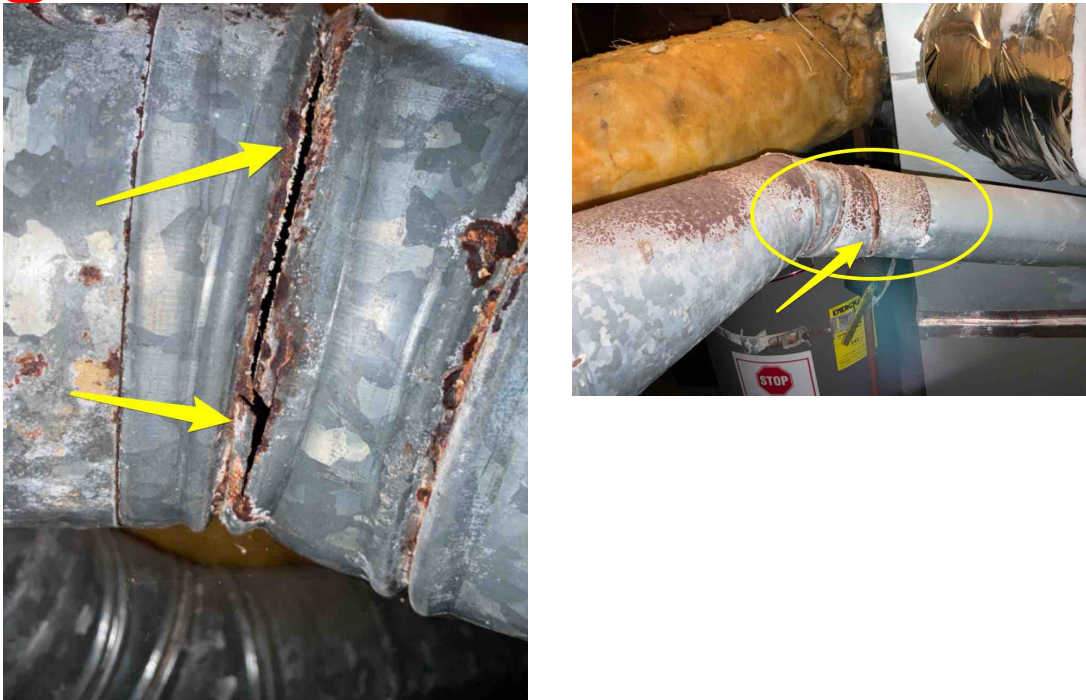
Disclosure: The heater was not dismantled or tested for a crack in the heat exchanger. This is beyond the scope of a home inspection. If furnace is older you should have the heat exchanger checked by a licensed HVAC professional.

Notice: Safety switches such as thermocouples are not tested. Carbon Monoxide testing is beyond the scope of the inspection and is not performed.



VENTING

SC 255: Some rust deterioration and damage founded areas of the furnace vent piping in the crawlspace



DUCTING/DISTRIBUTION

MR 256: Recommend cleaning and sealing inside the floor registers as part of typical ongoing maintenance.

AIR FILTERS

257: Air filters found clean and in good condition inside the furnace return air grill(s).

COMBUSTION AIR

258: Appears to be the appropriate amount and in the appropriate locations.

THERMOSTAT/CONTROLS

259: Operated when tested.

Electrical

We recommend that all electrical defects be reviewed and repaired completely by a licensed electrical contractor. Additional defects may be discovered during review or repairs as this inspection is a general overview of the entire electrical system and may not detail every electrical defect. GFCI and Arc Fault protected circuits are tested only at the test / reset button location and only if the circuit is not being used by occupant. No other part of the circuit was tested for GFCI or AFCI protection per standards.

Disclosure: *Wiring located inside the wall cavities, behind drywall, behind non-accessible covers and in areas not readily accessible or visible for any reason are not inspected and are outside the scope of this inspection as the hidden conditions are unknown.*

TYPE OF SERVICE AND MAIN ELECTRICAL PANEL-1

260: Electrical Service Type: **Overhead** (condition of service wires not fully visible and are unknown)

Main Electrical Panel Location: **Exterior - Northeast Corner**

Main Electrical Panel Ampacity: **100**

Panel Voltage: **240 volt**

Branch Wire Type: Copper

Determining the capacity of the circuits in the electrical panel(s) is outside the scope of this inspection. This is only a visual inspection of the electrical panels per the CREIA standards. No load testing of the circuits was performed.

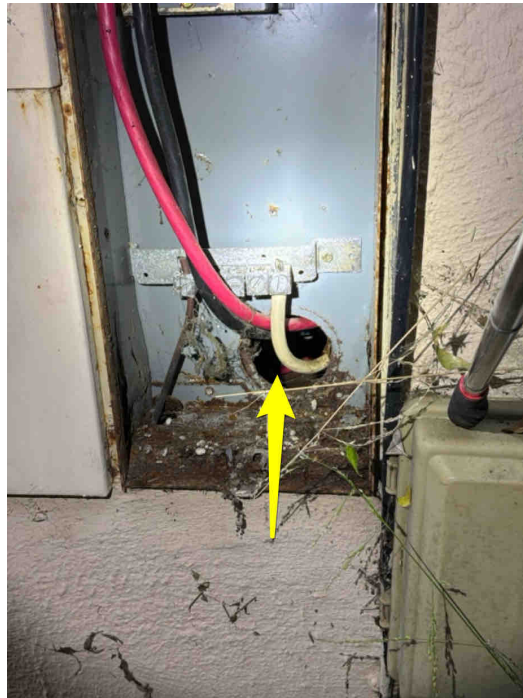


PANEL COMMENTS

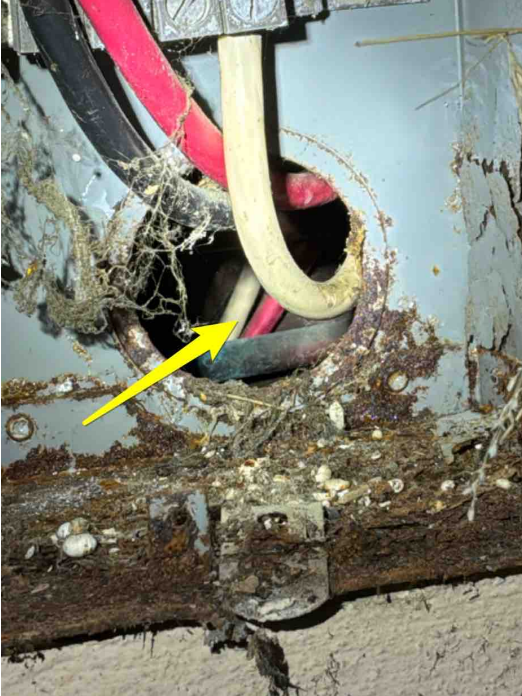
SC 261: Some water intrusion and rust deterioration found inside the MAIN ELECTRICAL PANEL.



SU 262: Missing a bushing clamp as wires are passing into the metal MAIN ELECTRICAL PANEL. Wires are improperly rubbing on the sharp metal edge of the electrical panel as they pass through.



SC 263: Unprotected wires passing through the electrical panel not in a conduit leaving from the MAIN ELECTRICAL PANEL.



SERVICE

E&C 264: The overhead Telephone / TV Cable wires found to be improperly laying and rubbing on the roof. A minimum of (18 inches.) needed above a roof for safety per standards. Recommend further review and repair by a qualified and licensed professional familiar with the minimum installation requirements.



Example

WIRING/CONDUIT

265: A sampling of the switches, light fixtures and outlets operated when tested.

Disclosure: *Occupant's belongings and furniture are not moved for testing of outlets and switched. Receptacles which are in use or are blocked by child tamper barriers are not tested. If house is occupied or any restricted conditions exist, additional testing is recommended. Additional inspection fees may apply.*

DS 266: *Disclosure: Furnishings, appliances and occupants' belongings prevent testing of every outlet and switch. Have all outlets and switches tested once home is vacant.*

SU 267: Recommend the installation of GFCI and AFCI outlet protection, Vacancy Sensors and Humidistat switches as required in all locations as a safety upgrade per California current standards.

a. Vacancy Sensor light switch: A Vacancy Sensors is a light switches that detect when a space such as a bathroom, garage, laundry room is unoccupied and will automatically turns OFF the lights after a certain amount of time, thereby saving energy.

b. Humidistat Fan Switch: A humidistat is a switch which controls a bathroom exhaust fan and turns the fan on automatically when there is a high level of moisture from the shower, reducing the overall humidity level in the bathroom.

SC 268: Improper exposed electrical wiring:

1. "Romex" improperly installed subject to physical damage, not in a conduit or raceway per standards
2. Improper use of a non-exterior rated box and cover at the added light switch, for the WEST SIDE YARD LOWER DECK ceiling light

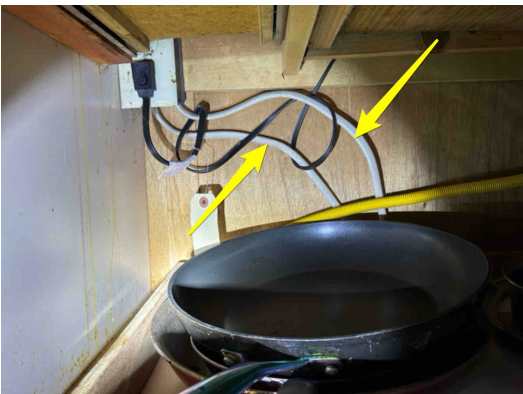




SC 269: Improper and unsafe electrical wiring: INSIDE THE KITCHEN CABINETRY ABOVE THE COOKTOP. Ex. Exposed electrical wiring, "Romex" improperly installed subject to physical damage, not in a conduit or raceway per standards.



SC 270: Improper and unsafe electrical wiring: IN THE KITCHEN CABINETRY BELOW THE COOKTOP. Ex. Exposed electrical wiring, "Romex" improperly installed subject to physical damage, not in a conduit or raceway per standards.



OUTLETS/SWITCHES

SC 271: Three-prong electrical outlets did not test properly grounded: DOWNSTAIRS HALLWAY. Contact a licensed electrical contractor for evaluation and repairs.



LIGHTING

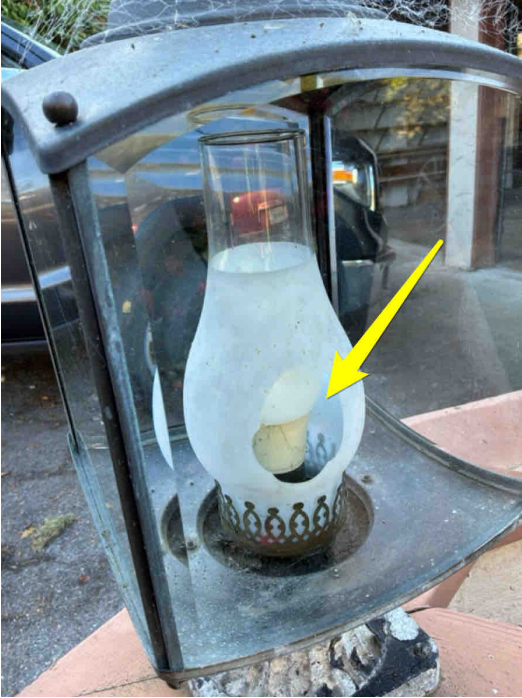
FI DS 272: Some electrical switches do not operate anything visible, (purpose unknown).

FI 273: Some lights found to be non-operational (check bulbs if still found non-operational contact a qualified electrician to evaluate and repair or replace defective fixtures and/or switches).

SC 274: Light fixture is missing with exposed wires: AT THE EXTERIOR LIGHT OFF THE EXTERIOR DOOR OFF THE PRIMARY BED BATHROOM.



E&C 275: Lens at light fixture is cracked: exterior front entry light at the driveway area on the front entry deck handrail.



E&C 276: Light fixture is damaged: AT THE EXTERIOR LIGHT OFF THE DOWNSTAIRS FAMILY ROOM SLIDING GLASS DOOR.



Electrical Sub-Panel

Electrical Sub Panel # 1

SUBPANEL

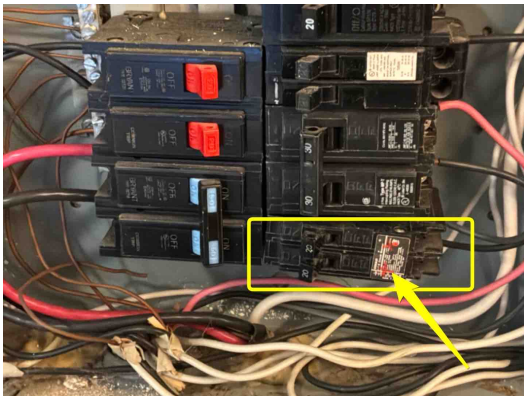
277: Location: **Laundry Room**

Amps: **100**



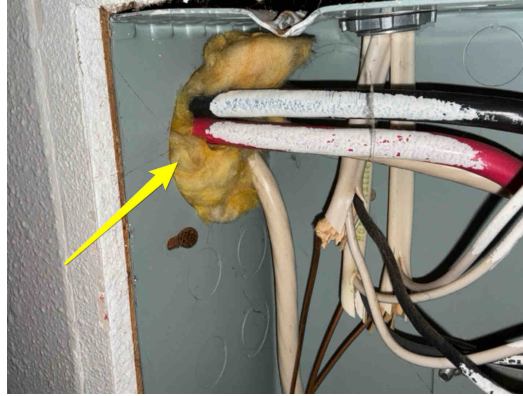
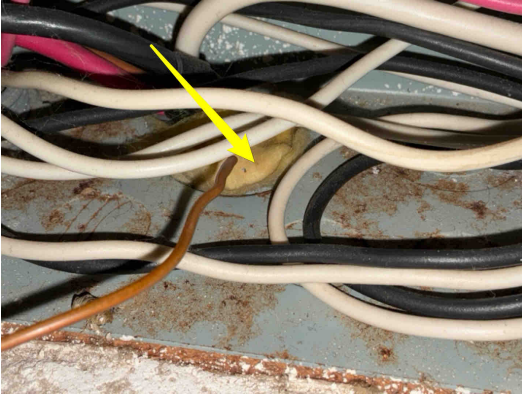
PANEL COMMENTS

SC 278: Electrical panel defect / Over-fusing (breaker found too large for wire), (15-amp wire on a 20-amp breaker) in the LAUNDRY ROOM ELECTRICAL SUB PANEL.

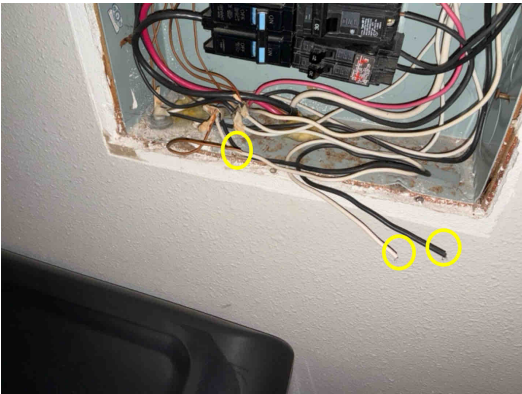
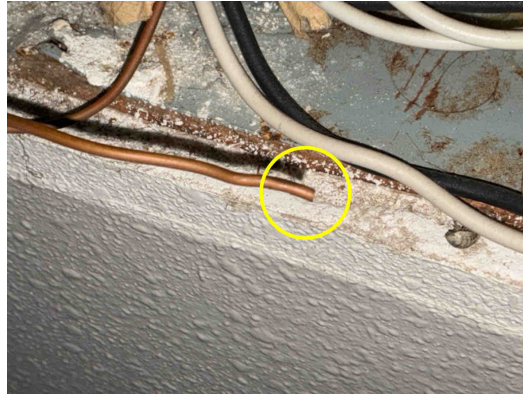


SU 279: Breakers in the LAUNDRY ROOM ELECTRICAL SUB PANEL are not fully labeled per standards.

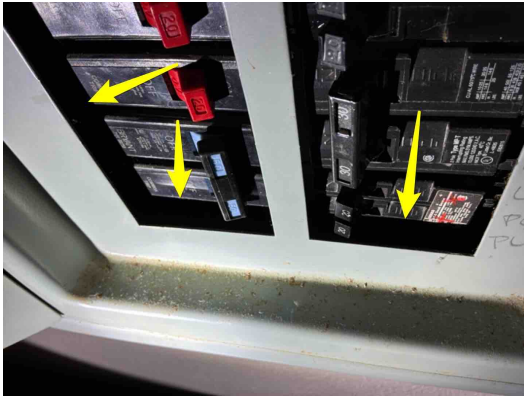
SC 280: Missing bushing clamp as wires are passing into the LAUNDRY ROOM ELECTRICAL SUB PANEL.



SC 281: Some unused wires in the LAUNDRY ROOM ELECTRICAL SUB PANEL found missing proper wire nuts. Repairs are recommended for safety to help prevent a short or shock. Contact a qualified professional.



SC 282: The LAUNDRY ROOM ELECTRICAL SUB PANEL found to be improperly installed too deep in the wall so the dead front cover does not sit flush and tight up against the circuit breakers. Contact qualified electrical contractor to evaluate and correct.



Example

Electrical Sub Panel # 2

SUBPANEL

283: Location: **DOWNSTAIRS BEDROOM CLOSET**

Amps: **100**

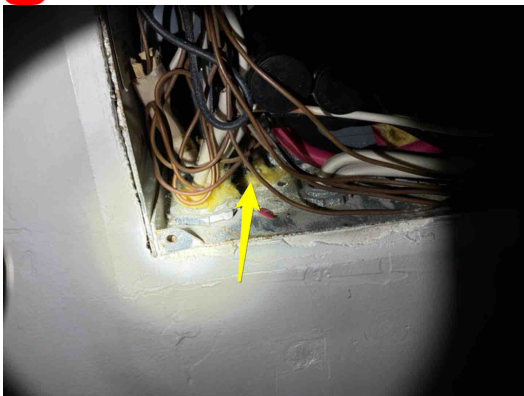




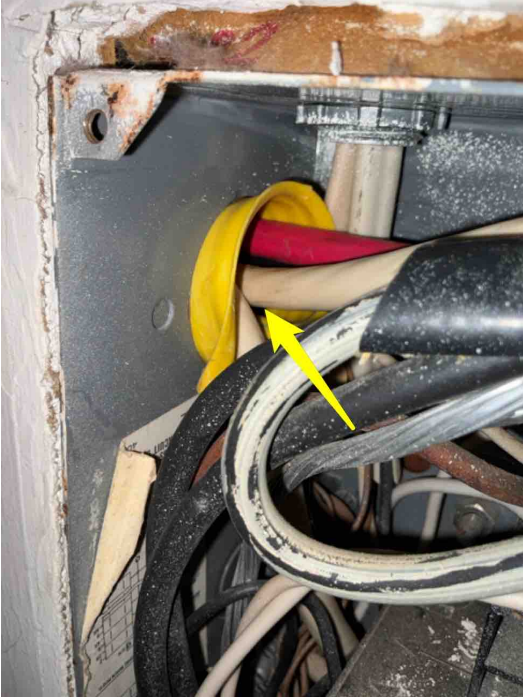
PANEL COMMENTS

SU 284: Breakers in the BEDROOM CLOSET MAIN ELECTRICAL PANEL are not fully or properly labeled per standards.

SC 285: Missing bushing clamp as wires are passing into the BEDROOM CLOSET MAIN ELECTRICAL PANEL.



SC 286: Unprotected wires passing through the electrical panel not in a conduit leaving from the BEDROOM CLOSET MAIN ELECTRICAL PANEL



Detectors

SU 287: The INSTALLED SMOKE DETECTORS appear to be over 10 years old and should be replaced for safety per the current California standards.

The inspection of the placement of the detectors is not a warranty as to the effectiveness of the detectors, only that the detectors are installed in the appropriate locations per California law. Owner is responsible for testing detectors monthly and replace detectors over 10 years old.

SC 288: Smoke detector AND Carbon Monoxide detector are missing at required location:

1. HALLWAY OUTSIDE THE PRIMARY BEDROOM
2. UPSTAIRS OUTSIDE THE ROOM OVER THE GARAGE.

SC 289: Carbon Monoxide detector missing at the required location:

1. INSIDE THE PRIMARY BEDROOM - due to the installation of a fireplace
2. AT THE TOP OF STAIRWAY OUTSIDE THE UPSTAIRS BONUS ROOM OVER THE GARAGE



Garage

The conditions inside walls, behind occupants' belongings, and areas not visible cannot be determined. Do a careful check during final walkthrough.

Determining the condition of the waterproofing on interior below grade walls is outside the scope of this inspection. Interior walls are visually inspected for stains and damage in accessible areas that are not blocked or covered by occupants' belongings.

FLOORS

290: Visible areas of the garage floor appears serviceable.

DS 291: Common cracks found in the concrete garage floor.

DS 292: The garage floor and walls are not fully visible due to occupants' belongings and/or cabinetry. *Areas of the garage is not accessible, visible nor inspected. A re-inspection is recommended once full access is made available.*

WALLS & CEILINGS

DS 293: *The conditions inside walls, behind occupants' belongings, and areas not visible, cannot be determined. Do a careful check during final walkthrough.*

DS 294: Walls not fully visible due to occupants' belongings and/or cabinetry.

SC FI 295: Some small holes or openings found in the garage firewall. Corrections warranted for fire safety. Contact an appropriate professional to repair or correct as needed.



Example. around the garage vehicle door opener

FI 296: Moisture stains and/or damage found on areas of the garage ceiling: UPSTAIRS BONUS ROOM OVER THE GARAGE is above. Recommend further review to determine cause, current condition and if repairs are needed. Areas found dry today.



FIRE DOOR

297: BOTH garage fire doors operated when tested and appears serviceable.

VEHICLE DOOR TYPE

298: TWO: Roll-up vehicle doors

TWO: Vehicle door opener(s)

VEHICLE DOOR

299: The garage vehicle door(s) operated when tested.

300: Proper safety springs installed on the garage vehicle door.

MR 301: *Note: It is recommended to lubricate the hinges, rollers and auto opener annually as part of typical ongoing maintenance.*

VEHICLE DOOR OPENER

302: The installed garage vehicle door opener(s) operated when tested.

All Newer garage door openers as of 2019 are equipped with battery backup systems typically have batteries with an average service life of approximately 1 3 years. These batteries should be tested annually, by unplugging the unit from the power outlet and tested. Replace batteries as needed to ensure proper operation during power outages. The battery systems at the newer garage vehicle door openers are not tested today and are outside the scope of this inspection.

SU 303: The garage vehicle door auto opener Auto Reverse electric eye sensors should be installed no higher than six inches from floor per standards.

Fireplace

Fireplace # 1

FIREPLACE LOCATION

304: DOWNSTAIRS FAMILY ROOM



FIREPLACE TYPE

305: Fireplace Type: **Prefabricated**

306: Fuel Type: **Wood Burning fireplace with Gas provided.**

307: Chimney Type: **Metal Chimney Pipe**

PREFABRICATED WOOD FIREPLACE

308: The refractory plates, back and side walls, inside the pre-fabricated wood-burning fireplace firebox appear serviceable with no major or significant damage.

FI SU 309: Evidence of past minor poor drafting with an unusual buildup of soot/carbon on the inside past the smoke guard and/or outside the DOWNSTAIRS FAMILY ROOM fireplace.

FI 310: Some past or recent water intrusion with water stains at the fireplace firebox at the DOWNSTAIRS FAMILY ROOM fireplace. Additional review by a qualified fireplace chimney sweep is recommended to determine source of the water and ascertain if repairs are needed.



MR 311: Recommend cleaning & sweeping the DOWNSTAIRS FAMILY ROOM fireplace and chimney by a qualified chimney sweep.

312: The fireplace damper operated when tested.

MR 313: The screen at the face of the pre-fabricated fireplace appears serviceable and operated when tested. Some minor deterioration / bent screen.

314: The log grate is serviceable and in good condition

315: The Fireplace hearth extension is serviceable and in good condition.

316: Gas valve at the fireplace operated wind tested.



SC 317: Recommend sealing the opening around the gas pipe through the sidewall inside the DOWNSTAIRS FAMILY ROOM fireplace for safety per standards.



MR 318: The fireplace mantle in good condition.

METAL CHIMNEY

319: The LIVING ROOM fireplace chimney.



Fireplace # 2

FIREPLACE LOCATION

320: **PRIMARY BEDROOM**



FIREPLACE TYPE

321: Fireplace Type: **Prefabricated**

322: Fuel Type: **Wood Burning fireplace with Gas provided.**

FIREPLACE CONDITION

323: **FIREPLACE CONDITION**: The visible areas of the PRIMARY BEDROOM fireplace appears operational and in a serviceable condition.

PREFABRICATED WOOD FIREPLACE

324: The refractory plates, back and side walls, inside the pre-fabricated wood-burning fireplace appear serviceable with no major or significant damage.

MR 325: Recommend cleaning & sweeping the PRIMARY BEDROOM fireplace and chimney by a qualified chimney sweep.

326: The fireplace damper operated when tested.

MR 327: The screen at the face of the pre-fabricated fireplace appears serviceable and operated when tested.

SC 328: Oversized log grate found in the PRIMARY BEDROOM fireplace firebox. The front tip of the log grate should not extend past the back of the smoke guard at the top of the fireplace. This can negatively affect the drafting of the fireplace and allow smoke to back-vent into the house. Recommend replacement with an appropriately sized log grate for safety.



329: The Fireplace hearth extension is serviceable and in good condition.

330: Gas valve at the fireplace operated wind tested.



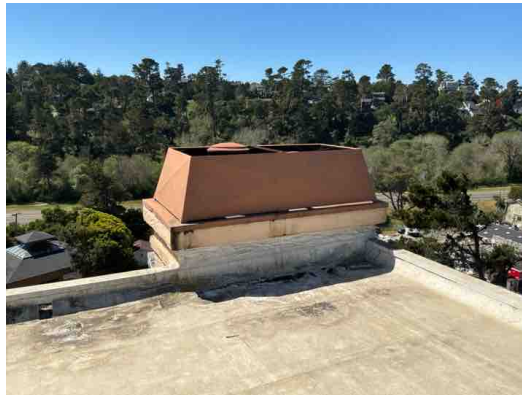
E&C SU 331: The added wood mantle is too close to the PRIMARY BEDROOM fireplace opening per minimum standards. Corrections recommended.



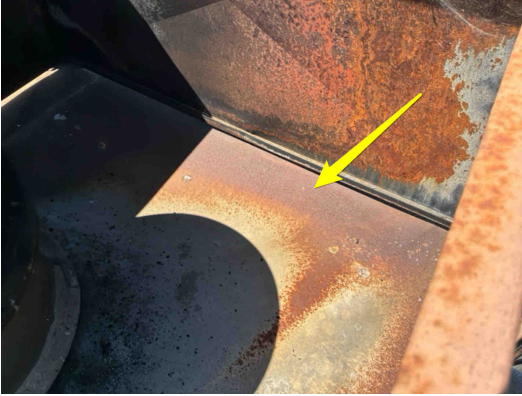
Too close to the Fireplace opening

METAL CHIMNEY

332: The PRIMARY BEDROOM fireplace chimney.



MR 333: The metal chimney chase cap is rusted. Maintenance / rust inhibiting paint is recommended.



Example



Example

SU 334: Improper use and installation of a non-UL listed decorative surround atop the chimney. All UL listed four sided surrounds require a 4 inches air inlet opening on all four sides of the surround at the bottom. This surround only has opening on two sides. This can negatively affect the drafting of the chimney. Proper repairs are warranted per standards. Recommend having a qualified professional open the two sides, easy repair.



Must have a minimum of a 4 inch opening around the decorative surround

MR 335: Disclosure: The fireplace metal chimney chase cap appears to be ponding water: LIVING ROOM and PRIMARY BEDROOM. Contact a qualified fireplace and chimney sweep to evaluate and correct.