

95 TABLE MOUNTAIN

OROVILLE | CA

Available ±0.93 Acre Parcel

Ground lease or build to suit opportunity on a busy corner in Oroville, CA.

- High visibility at the intersection of Table Mountain Boulevard and Grand Avenue.
- Close to Butte County Offices, Olive Ranch Apartments, and future 174-unit Grove development.
- Convenient access to downtown Oroville, State Route 70, and nearby recreational destinations.

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EXECUTIVE SUMMARY

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PROPERTY OVERVIEW

Located at the intersection of Table Mountain Boulevard and Grand Avenue, this ± 0.93 acre parcel offers a flexible development opportunity for ground lease or build-to-suit. The corner lot provides excellent exposure to both pedestrian and vehicular traffic, making it well-suited for retail, dining, or service-based businesses. Surrounded by key community landmarks, including the Butte County Offices, Olive Ranch Apartments, and the upcoming 174-unit Grove development, the site benefits from consistent local activity and visibility.

Positioned at 95 Table Mountain Boulevard in Oroville, California, this site offers convenient access to the city's downtown core. Table Mountain Boulevard runs parallel to State Route 70, providing direct routes to Chico, Marysville, and other nearby areas. The location is surrounded by a mix of residential, commercial, and civic destinations, supporting a steady flow of activity. Close to outdoor attractions like the Feather River, Table Mountain, and Lake Oroville State Recreation Area, the area blends urban convenience with scenic appeal, offering a well-rounded environment for businesses and customers alike.



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LOCAL AREA



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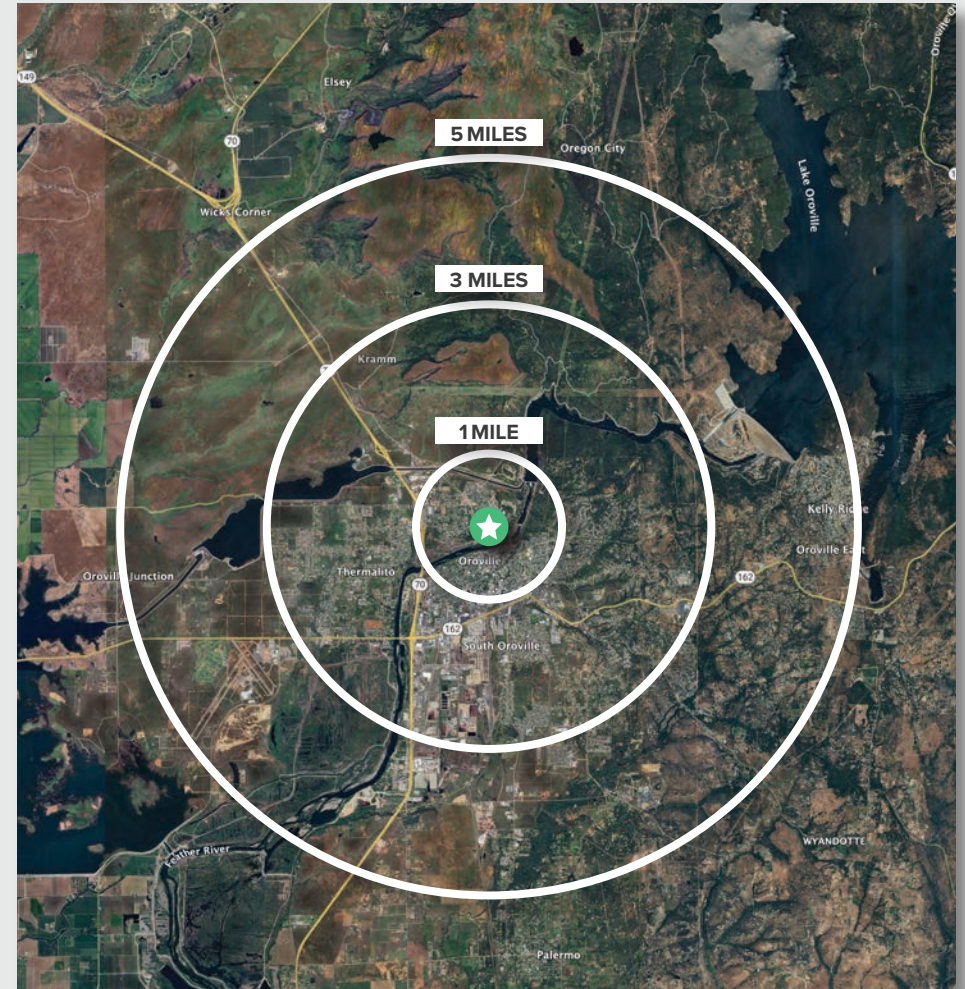
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REGIONAL DEMOGRAPHICS

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DEMOGRAPHICS	1 MILE	3 MILES	5 MILES
POPULATION			
2024 Estimated Population	8,674	30,119	38,741
2029 Projected Population	8,687	30,723	39,394
2020 Census Population	9,042	30,525	39,058
2010 Census Population	8,308	28,693	36,653
2024 Median Age	32.6	34.5	36.3
HOUSEHOLDS			
2024 Estimated Households	3,049	10,674	13,951
2029 Projected Households	3,120	11,146	14,523
2020 Census Households	3,099	10,705	13,984
2010 Census Households	2,871	10,064	13,181
INCOME			
2024 Estimated Average Household Income	\$68,885	\$80,294	\$87,555
2024 Estimated Median Household Income	\$46,468	\$57,259	\$62,007
2024 Estimated Per Capita Income	\$24,607	\$28,656	\$31,708
BUSINESS			
2024 Estimated Total Businesses	273	927	1,135
2024 Estimated Total Employees	3,524	10,205	12,577



Source: Applied Geographic Solutions 05/2024, TIGER Geography - RS1

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ABOUT OROVILLE, CA

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Located in Northern California, Oroville is the county seat of Butte County, with a population of approximately 20,000. It's situated along the Feather River, near the foothills of the Sierra Nevada Mountain range. As an emerging real estate market, Oroville offers several investment opportunities for those looking to tap into its growth potential.

Strategic Location: Oroville's position along State Route 70 offers excellent connectivity to key markets such as Sacramento, Chico, and Yuba City. Its proximity to these major economic centers makes it an attractive option for businesses seeking a centralized location.

Diverse Economy: Oroville's economy is anchored by healthcare, agriculture, manufacturing, and tourism. The diversified economic base provides stability for the commercial real estate market.

Infrastructure Improvements: The city has been making significant investments in infrastructure, including road improvements and utility upgrades, to support future growth and development. These improvements are expected to attract new businesses and bolster the commercial real estate market.



Historic Downtown Oroville, CA

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CHOOSE EXCELLENCE OVER ORDINARY

Our team of brokerage, property management, and development professionals work together with you to deliver creative solutions that meet your goals and reduce risk.

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When you contact Capital Rivers, expect a response.

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