

HERS NOTES

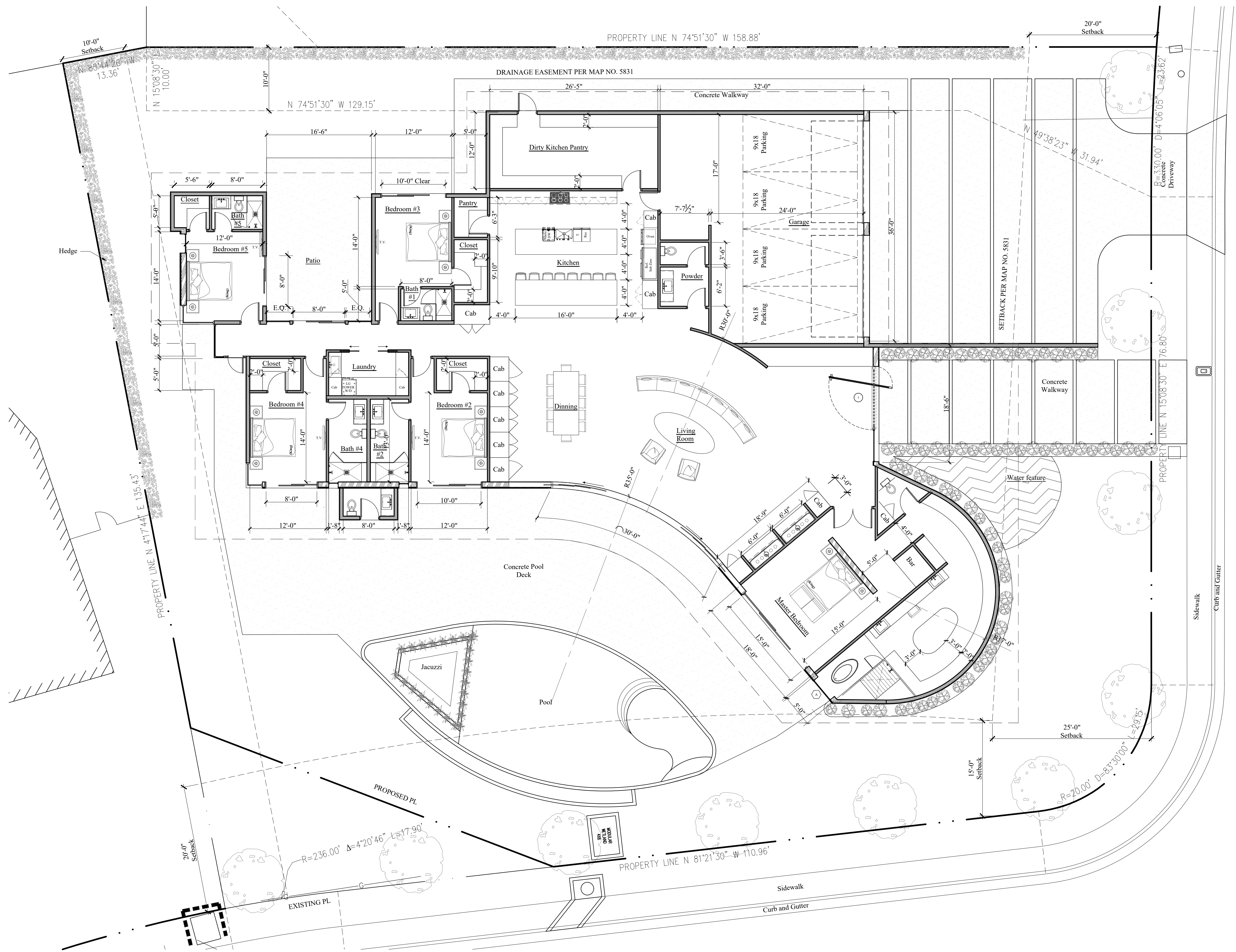
- An electronically signed and registered installation certificate(s) (eIR) posted by the installing contractor shall be submitted to the field inspector during construction at the building site. A registered eIR will have a unique 21-digit registration number followed by four zeros located at the bottom of each page. The first 12 digits of the number will match the registration number of the associated eIR. Certificate of occupancy will not be issued until forms eIRs reviewed and approved.
- An electronically signed and registered certificate(s) of field verification and diagnostic testing (eFR) shall be posted at the building signed and registered certificate(s) of field verification and diagnostic testing (eFR) shall be posted at the building site by a certified hERS rater. A registered eFR will have a unique 25-digit registration number located at the bottom of each page. The first 20 digits of the number will match the registration number of the associated eIR. Certificate of occupancy will not be issued until eFR is reviewed and approved.

FLOOR PLAN NOTES

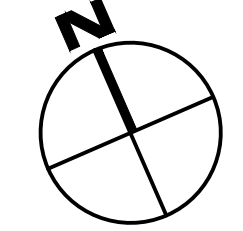
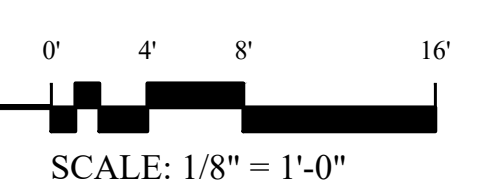
- All dimensions shall be field verified. Any discrepancies affecting project layout shall be brought to the attention of the architect and the issues resolved prior to proceeding with the work in question.
- Refer to site plan for site and utility info.
- For door and windows see schedules on a-8.1
- Insulation: R-13 batt insulation at all new exterior 2x4 walls.
R-19 batt insulation at all new 2x6 exterior walls and raised floor areas
R-13 batt insulation at all accessible interior walls for sound control.
R-30 batt insulation at ceiling & roof areas.
R-4.5 insulation wrap on all new hot water piping.
R-4.5 insulation wrap on all new supply ducts.
- Smoke detectors: shall be installed in each bedroom and on access point to each sleeping area and on each story and basements. detector shall have an alarm audible in all sleeping areas of the unit. section 310.9.1.2. unit shall be permanently wired and equipped with battery backup. c.b.c. sec. 310.9.1.3.
- Attic/underfloor installation must comply with sections 904, 908, and 909 of the California mechanical code (cmc)
- Provide 5 air changes per hour for bathroom and laundry room ventilation.
- All abs and pvc piping and fittings shall be enclosed within walls and floors covered with type x gypsum board or similar assemblies that provide the same level of fire protection. protection of membrane penetrations is not required.
- Whole building ventilation: indoor air quality exhaust fan with ventilation rate of 120 cfm.
- Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of minimum no.26 gauge sheet steel or other approved material and shall have no opening into the garage.
- Shower compartment & bathtubs w/ installed showerheads shall be finished w/ a non-absorbent surface that extends to a height not less than 6 ft above fl. cre. r307.2
- Water meters for combined domestic water & fire sprinkler systems shall not be installed until the fire sprinkler system has been submitted and approved by the bldg official
- All plumbing fixtures and fittings will be water conserving
- Outdoor shower drains and sinks are not permitted to connect to the public sewer system unless equipped with an approved cover, hot and water connections allowed.
- During construction, at least one extinguisher shall be provided on each floor level at each stairway, in all storage and construction sheds, in locations where flammable or combustible liquids are stored or used, and where other special hazards are present per cfc section 3315.1
- Buildings undergoing construction, alteration or demolition shall conform to cfc chapter 33, welding, cutting and other hot work shall be in conformance with cfc chapter 35.
- Address identification shall be provided for all new and existing buildings in a location that is plainly visible and legible from the street or road fronting the property where access is by way of a private road and the building address can not be viewed from the public way, an approved sign or means shall be used to identify the structure. premises identification shall conform to cbc section 501.2.
- Wall, floor and ceiling finishes and materials shall not exceed the interior finish classifications in cbc table 903.11 and shall meet the flame propagation performance criteria of the California code of regulations, title 19, division 1. decorative materials shall be properly treated by a product or process approved by the state fire marshal with appropriate documentation provided to the city of san diego.
- All luminaries shall be high efficacy and shall have a manual on/off in addition to a vacancy sensor or dimmer.
- Exhaust ducts shall be equipped with back-draft dampers per Sec. 504.1.1 CMC
- Unless functioning as a component of a whole house ventilation system, bathroom exhaust fans must be controlled by a humidity control, which shall be capable of adjustments between relative humidity range of 50% to 80% (Sec 4.506.1).
- All stucco applications that return from a projection: need to have a return for the stucco that is more than 4" inset. The inset shall need a diverter or weep screed to allow water to fall without collecting in the horizontal plane and deteriorate the stucco.
- Any horizontal surfaces of stucco on a parapet and/or recess window sills needs fully lapped water proofing with a lap min of 3"-12" with seams on the slope side with the outer lap in the direction of the flow of water.
- For recessed window: the whole recess needs to be flash treated with a moist stop and the base needs a sill pan. The sill pan should extend all the way to the exterior wall with a minimum bottom slope of 1/4" to the outside to assure no water stands on the horizontal surface.
- All square and 90 degree angles will be stainless steel corner bead and will kerf to the window jamb for a clean return and finish on mill case.
- All screeds will be held of tile surfaces and dirt surfaces with metal backing. Height to be confirmed by architect to assure the reveal displayed is a clean stainless steel or copper finish depending on the project and that it is properly lapped and water proofed behind that. The metal is to conceal a termination bar and water proofing and to act as the protected finish coat.

FLOOR PLAN LEGEND

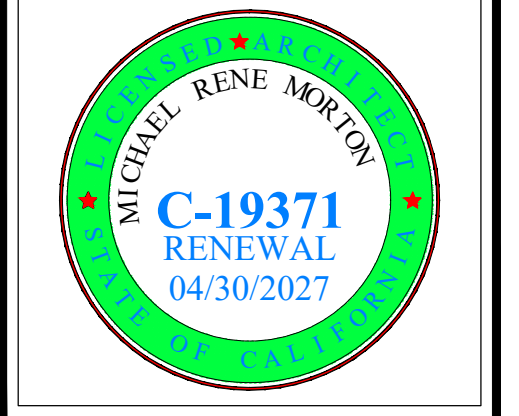
- 2 x 4 existing interior wall - gyp. Each side
 - 2 x 6 existing exterior wall - gyp, stucco exterior
 - Existing 8" thick cmu wall
 - New 2 x 4 stud wall @ 16" o.c. Finish interior w/ 5/8" gyp. Bd. Use tile backer board at restrooms.
 - New 2 x 6 stud wall @ 16" o.c. Gyp. each side.
 - One hour construction**
2 x wood stud @ 16" o.c. W/ 5/8" type "x" gyp. Bd. Each side. See detail 5/a10.3.
 - New doors and door symbol, see schedule on a8.1
 - New window and window symbol, see schedule on a8.1
 - Smoke detector - perm. Wired to building power w/ battery back-up, verify in field for existing conditions
 - floor drain (fd) slope 1/4" per 1'-0"
 - Flush washer and dryer connection per ox box specifications
 - Proposed exterior lighting
 - New door, installed 4 1/2" traditional jamb allowances from adjacent wall unless otherwise noted
 - Existing structure dimension
 - Proposed structure dimension
- Exterior wall dimensions to face of stud/ftm. Wall. Interior wall dimensions to center line of stud.
For additional project information see additional sheets.



PROPOSED FLOOR PLAN



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Prestwick Residence
8504 PRESTWICK DRIVE
La Jolla, CA 92037

REVISIONS
9/25/2020 PROJECT START

PHASE
DESIGN PHASE

PROJECT NO. 2025-32

REVIEWED BY CAM

DRAWN BY FE

DATE 02/02/2025

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SHEET TITLE
PROPOSED FLOOR PLAN

A021

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