

PROPERTY INSPECTION REPORT



FOUR POINT
HOME INSPECTION INC.



Four Point Home Inspection Inc
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805-286-2402

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507 Grand Canyon Dr
Inspection Prepared For: Thomas Anderson
Agent: -

Date of Inspection: 1/28/2026

Year Built: 2002 Size: 2172

Weather: Mild/Dry



Report Introduction

We appreciate the opportunity to conduct this inspection for you! Please carefully read your entire Inspection Report. Call us after you have reviewed your report if you have any questions. Remember, when the inspection is completed and the report is delivered, we are still available for any questions you may have.

Properties being inspected do not "Pass" or "Fail." - The following report is based on an inspection of the visible portion of the structure in accordance to the Standards of Practice from InterNACHI; inspection may be limited by vegetation and possessions. Depending upon the age of the property, some items like GFCI outlets may not be installed; this report will focus on safety and function, not current code. This report identifies specific non-code, non-cosmetic concerns that the inspector feels may need further investigation or repair.

For your safety and liability purposes, we recommend that licensed contractors evaluate and repair any critical concerns and defects. Note that this report is a snapshot in time. We recommend that you or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property, using this report as a guide.

Throughout the report we utilize icons to make things easier to find and read. Use the legend below to understand each rating icon.



Acceptable - This item was inspected and is in acceptable condition for its age and use.



Repair/Replace - Items with this rating should be examined by a professional and be repaired or replaced.



Safety Issue - Items with this rating should be examined immediately and fixed. Even though the item is marked as a safety issue it could be a very inexpensive fix. Please make sure to read the narrative to completely understand the issue.



Monitor - Items with this rating should be monitored periodically to ensure that the issue hasn't become worse, warranting a repair or replacement.



Not Accessible - Items with this rating were not present in the home or were not able to be fully inspected because access was blocked off or covered.

Our report contains a unique pop-up glossary feature. When you see words **highlighted in yellow** hover your mouse over the term. The definition or a tip about the item will appear!

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Report Summary







On this page you will find, in **RED**, a brief summary of any **CRITICAL** concerns of the inspection, as they relate to Safety and Function. Examples would be bare electrical wires, or active drain leaks. The complete list of items noted is found throughout the body of the report, including Normal Maintenance items. Be sure to read your entire report!

For your safety and liability, we recommend that you hire only licensed contractors when having any work done. If the living area has been remodeled or part of an addition, we recommend that you verify the permit and certificate of occupancy. This is important because our inspection does not tacitly approve, endorse, or guarantee the integrity of any work that was done without a permit, and latent defects could exist.

Depending upon your needs and those who will be on this property, items listed in the body of the report may also be a concern for you; be sure to read your Inspection Report in its entirety.

Note: If there are no comments in **RED** below, there were no **CRITICAL** system or safety concerns with this property at the time of inspection.

Crawlspace Foundation			
	Page 16 Item: 2	Foundation Walls	Termite dropping visible in the crawlspace walls indicated infestation by wood-destroying insects. The Inspector recommends an inspection be performed by a pest control contractor.
Grounds			
	Page 22 Item: 6	Exterior Faucet(s)	An exterior faucet at the Rear of the house had a leaking supply line. The Inspector recommends repair by a qualified plumbing contractor.
Electrical			
	Page 29 Item: 4	Panel Wiring	Multiple neutral conductors (white wire) from separate branch or separate feeder circuits cannot be installed in the same neutral terminal (lug screw). The Inspector recommends correction by a qualified electrical contractor.
Water Heater			
	Page 37 Item: 5	TPR Discharge Line Condition	The discharge line for the water heater relief valve (TPRV) is missing. This is a potential scalding concern as water can discharge improperly. Recommend installing the proper TPR valve discharge tube that must be made of copper, iron, or CPVC (NOT regular PVC). It must terminate within 6" above the floor--the end cannot be threaded or have a fitting. We recommend that the discharge line extend to the exterior of the home if possible.

Garage			
	Page 41 Item: 7	Fire Door	<p>The door in the wall between the garage and the home living space did not meet generally-accepted current safety standards. Pet doors in firewall doors are a breach in the firewall.</p> <p>The door in the wall between the garage and the home living space did not meet generally-accepted current safety standards. Door stops that prevent the door from self-closing are considered a breach in the firewall.</p>
Interior Areas			
	Page 47 Item: 7	Window Condition	<p>Although no condensation was visible at the time of the inspection, staining and etching of the glass at a window in the Dining Room indicated a loss of thermal integrity. Etching of the glass from long-term exposure to condensation constitutes permanent damage. The Inspector recommends that before the expiration of your Inspection Objection Deadline you consult with a qualified contractor to discuss options and costs for replacement.</p>
Kitchen			
	Page 53 Item: 15	Window Condition	<p>Although no condensation was visible at the time of the inspection, staining and etching of the glass at a window indicated a loss of thermal integrity. Etching of the glass from long-term exposure to condensation constitutes permanent damage. The Inspector recommends that before the expiration of your Inspection Objection Deadline you consult with a qualified contractor to discuss options and costs for replacement.</p>
Bathroom #1			
	Page 56 Item: 3	Toilets	<p>In the bathroom, the toilet was loose at the floor and should be re-attached by a qualified plumbing contractor.</p>
	Page 57 Item: 6	Bath Tubs	<p>The diverter valve was leaking during operation or did not operate correctly (the diverter is the valve which diverts water from the tub faucet to the shower head). At the time of inspection water continued to flow from the tub spout when the shower was on. This is most commonly caused by a deteriorated diverter valve seal in the tub spout. The Inspector recommends maintenance/repair be performed by a qualified contractor.</p>
Bedroom #2			
	Page 66 Item: 11	Window Condition	<p>Although no condensation was visible at the time of the inspection, staining and etching of the glass at a window indicated a loss of thermal integrity. Etching of the glass from long-term exposure to condensation constitutes permanent damage. The Inspector recommends that before the expiration of your Inspection Objection Deadline you consult with a qualified contractor to discuss options and costs for replacement.</p>



Inspection Details

1. Standards of Practice

Information: The General Home Inspection is based on the Standards of Practice (SOPs) followed by the Inspector. The SOPs are minimum guidelines that determine what an inspector must and need not inspect and report on. The Inspector is free to exceed these guidelines at his discretion, however, comments on systems, components, or conditions that exceed the scope of the General Home Inspection are not meant to imply that the scope of the inspection is expanded to include all systems, components, or conditions, the inspection of which lies beyond the scope of the General Home Inspection. Additional defects that lie beyond the scope of the General Home Inspection may exist in the home and may not be identified by the Inspector.

2. Home Type

Home Type: Single Family Home • The front of the structure faces South.

3. Occupancy

Occupancy: Occupied - Furnished. Access to some items such as: electrical outlets/receptacles, windows, wall/floor surfaces, and cabinet interiors may be restricted by furniture or personal belongings. Any such items are excluded from this inspection report.

4. Attendance

Observations: Client(s) present • Dog



10 out of 10 would pet again

Inspection Details (continued)

5. Environmental Hazards

Observations:

-WILDFIRE

Although at the time of the inspection it appeared that fire mitigation had been adequately performed, in the future, you should continue to perform mitigation as needed. You should consider creating Defensible Space around your home by following Cal Fire Guidelines. [Cal Fire Defensible Space](#)

The following are general guidelines:

Defensible space is an area around a structure within which fuels and vegetation are treated, cleared or reduced to slow the spread of wildfire towards the structure. It also reduces the chance of a structure fire moving from the building to the surrounding forest.

ZONE 1 is the area of maximum modification and treatment. It consists of an area of 30 feet around the structure in which all flammable vegetation is removed. This 30 foot dimension is measured from the outside edge of the home's eaves and from any attached structures, such as decks.

ZONE 2 is an area of fuel reduction. It is a transitional area between Zones 1 and 3. The size of Zone 2 depends on the slope of the ground where the structure is built. Typically, the defensible space should extend at least 100 feet from the structure. Within zone 2, the continuity and arrangement of vegetation is modified. Remove stressed, diseased, dead or dying trees and shrubs. Thin and prune the remaining larger trees and shrubs.


ZONE 3 is an area of traditional forest management and is of no particular size. It extends from the edge of your defensible space to your property boundaries.

-EARTHQUAKE

The home was located in an area known to experience significant earthquakes. You should become familiar with any special preparations, precautions or actions necessary on your part to help ensure your safety in the event of an earthquake.

6. Utilities

Observations:

 All utilities were on at the time of the inspection.

-WATER

The home water was supplied from a public source.

-SEWER

The home was connected to the public sewage system. A main sewer pipe in the street that served the community was gravity fed from the home sewer system through a main sewer pipe.

-GAS

The home was fueled by natural gas supplied by a public utility.

7. Fire Sprinkler Riser/Sprinkler Heads

Observations:

 • This home has no fire suppression (fire sprinklers) systems installed.



Roof

The roof inspection portion of the General Home Inspection will not be as comprehensive as an inspection performed by a qualified roofing contractor. Because of variations in installation requirements of the huge number of different roof-covering materials installed over the years, the General Home Inspection does not include confirmation of proper installation. Home Inspectors are trained to identify common deficiencies and to recognize conditions that require evaluation by a specialist. Inspection of the roof typically includes visual evaluation of the roof structure, roof-covering materials, flashing, and roof penetrations like chimneys, mounting hardware for roof-mounted equipment, attic ventilation devices, ducts for evaporative coolers, and combustion and plumbing vents. The roof inspection does not include leak-testing and will not certify or warranty the roof against future leakage. Other limitations may apply and will be included in the comments as necessary.

1. Roof Condition

Inspection Method:



- Visually inspected from ladder and ground level with remote camera pole. Not mounted due to roof material type making mounting of roof dangerous and likelihood of causing damage to roof material. Some areas of the roof are obscured from view due to inspection method.

Materials:

- The roof was covered with concrete "S" tiles that interlocked with tiles in the same course and overlap tiles in the course below.

Observations:

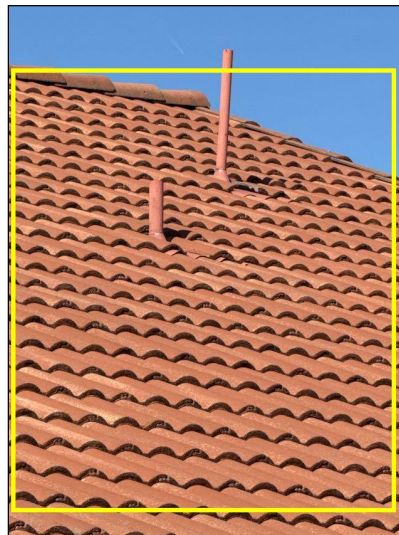
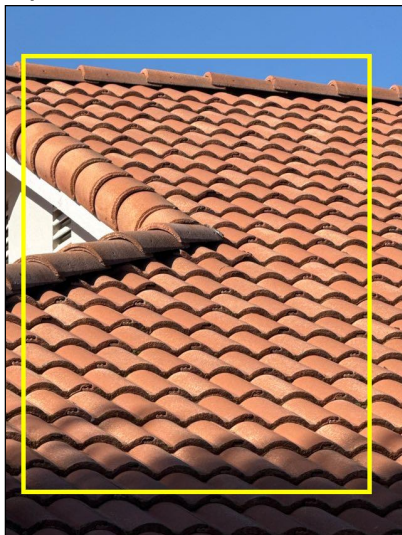
-GENERAL CONDITION

At the time of the inspection, the Inspector observed no deficiencies in the condition of the concrete tile roof-covering material.

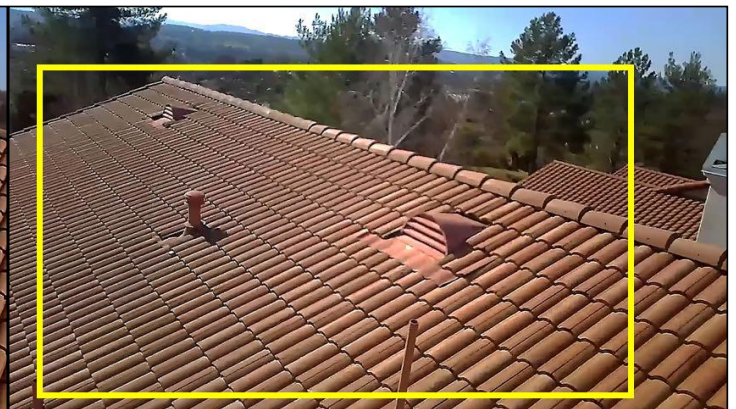
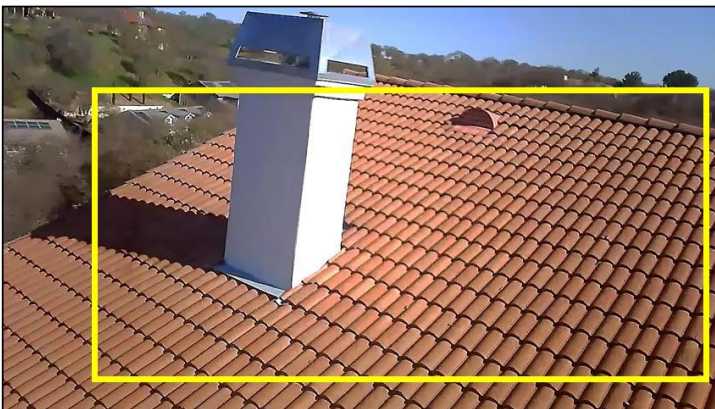
Roof ridge cap tiles are mortar sealed at intersections, the mortar is cracked which could allow moisture intrusion to the underlayment of the roof structure. Recommend having all mortar joint at ridge cap intersections sealed and maintained on a semiannual basis. The Inspector recommends any necessary work be performed by a qualified roofing contractor.

-EXTERIOR ROOF STRUCTURE

The inspector observed no deficiencies in the condition of the roof structure exterior.



Roof (continued)



Roof (continued)



Roof ridge cap tiles are mortar sealed at intersections, the mortar is cracked

2. Flashings

Observations:

- ✓ Flashing is a general term used to describe sheet metal fabricated into shapes and used to protect areas of the roof from moisture intrusion. Inspection includes inspection for condition and proper installation of flashing.

-GENERAL CONDITION

The inspector observed no deficiencies in the condition of roof flashing.

-DRIP/EDGE FLASHING

The inspector observed no deficiencies when inspecting roof edge flashing.

-VALLEY FLASHING

The inspector observed no deficiencies when inspecting valley flashing.

-SIDEWALL FLASHING

The Inspector observed no deficiencies in the condition of sidewall flashing.

-HEADWALL FLASHING

The Inspector observed no deficiencies in the condition of headwall flashing.

3. Plumbing Vent

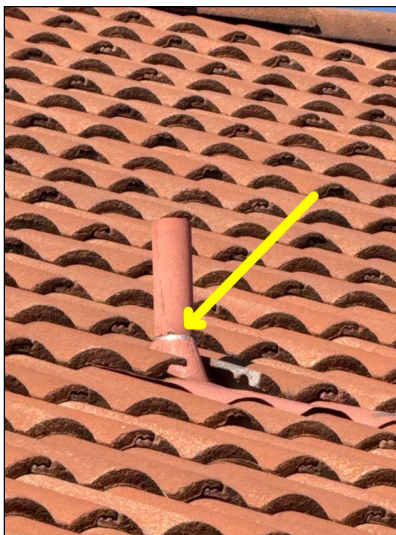
Observations:

🔧 -PLUMBING VENT FLASHING CONDITION

The inspector observed few deficiencies in the condition of the plumbing vents. Notable exceptions will be listed in this report.

Maintenance Needed: Plumbing vent flashings are mastic covered and some are *showing signs of cracked mastic/mastic deterioration* from sun exposure. Recommend re-sealing all through the roof vents and projections as a part of routine maintenance to prevent unwanted moisture intrusion.

Roof (continued)



Maintenance Needed: Plumbing vent flashings are mastic covered and some are showing signs of cracked mastic/mastic deterioration from sun exposure.

4. Combustion Vent

Observations:



-COMBUSTION FLASHING CONDITION

The inspector observed no deficiencies when inspecting the exhaust vent flashings for a combustion appliance.

-VENT CONDITION

The inspector observed no deficiencies when inspecting the exhaust vent pipe and caps for a combustion appliance.

5. Gutters

Observations



-SYSTEM DESCRIPTION

The roof drainage system consisted of conventional gutters hung from the roof edges feeding downspouts.

-GUTTER MATERIAL

Gutters and downspouts were fabricated from galvanized metal.

-GUTTERS

The inspector observed few deficiencies in the condition of the gutters. Notable exceptions will be listed in this report.

Maintenance Needed: Debris visible in the gutters at the time of the inspection should be removed to encourage proper drainage.

Maintenance Needed: Gutters had corrosion visible at seams. The inspector recommends maintenance by a qualified contractor to extend the long-term service life of the gutters.

-DOWNSPOUTS

The Inspector observed no deficiencies in the condition of the downspouts.

Roof (continued)



Maintenance Needed: Gutters had corrosion visible at seams.



Maintenance Needed: Debris visible in the gutters at the time of the inspection should be removed to encourage proper drainage.

6. Chimney

Observations:

✓ -CHIMNEY CONDITION

The Inspector observed no deficiencies in the portion of the chimney that extended above the roof.

-CROWN MATERIAL

The chimney cap was constructed using sheet metal.

-CHIMNEY CROWN CONDITION

The Inspector observed no deficiencies in the condition of the chimney crown.



Roof (continued)

7. Spark Arrestor/Rain Cap/Direct Vent Termination

Observations:

✓ -SPARK ARRESTOR

The Inspector observed no deficiencies in the condition of the spark arrestor.

-RAIN CAP

The Inspector observed no deficiencies in the condition of the rain cap.



Exterior Areas

Inspection of the home exterior typically includes:

- exterior wall covering materials;
- window and door exteriors;

1. Stucco

Observations:

📋 -GENERAL CONDITION

The Inspector observed few deficiencies in the condition of Stucco covering exterior walls. Notable exceptions are listed.

Monitor: Normal cracking was visible in stucco covering exterior walls of the home at the time of the inspection. This cracking appeared to be consistent with that caused by normal soil settlement. Settlement typically takes place in the first few years after original construction, and then stops. Cracks exceeding 1/16-inch (about the thickness of a penny) in width should be filled with an appropriate material to prevent future damage from moisture and monitored in the future for continued activity. Repainting with an Elastomeric paint on the stucco surface will help seal all surface cracks.



Monitor: Normal cracking was visible in stucco covering exterior walls of the home at the time of the inspection.



Monitor: Normal cracking was visible in stucco covering exterior walls of the home at the time of the inspection.

Exterior Areas (continued)



Monitor: Normal cracking was visible in stucco covering exterior walls of the home at the time of the inspection.



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Monitor: Normal cracking was visible in stucco covering exterior walls of the home at the time of the inspection.

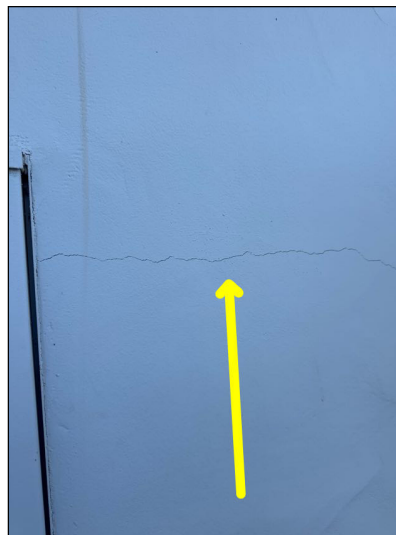


Monitor: Normal cracking was visible in stucco covering exterior walls of the home at the time of the inspection.

Exterior Areas (continued)



Monitor: Normal cracking was visible in stucco covering exterior walls of the home at the time of the inspection.



Monitor: Normal cracking was visible in stucco covering exterior walls of the home at the time of the inspection.

2. Trim Condition

Materials: Exterior trim was constructed of wood.

✓ Observations:

- At the time of the inspection, the Inspector observed no deficiencies in the condition of exterior trim.

3. Soffits & Fascia

Observations:



-GENERAL DESCRIPTION

The soffit is part of the overhang where your roof meets your exterior wall.

The fascia is the attractive board along the side of the overhang and the roof that helps your roof appear finished.

-SOFFITS

At the time of the inspection, the Inspector observed no deficiencies in the condition of the soffits.

-FASCIA

The Inspector observed few deficiencies in fascia at the time of the inspection. Notable exceptions will be listed in this report.

Monitor: Minor moisture damage, wood rot, observed. Refer to pest report for further details and repair damage as needed.

Exterior Areas (continued)



Monitor: Minor moisture damage, wood rot, observed. Refer to pest report for further details and repair damage as needed.

4. Exterior Paint

Observations:

- ✓ • Appears in satisfactory and functional condition with normal wear for its age. If repainting is desired we recommend using an Elastomeric paint on the stucco surfaces as this will help seal all surface cracks.

5. Doors

Observations:

- ✓ **-GENERAL CONDITION**
At the time of the inspection, the Inspector observed no deficiencies in the condition of door exteriors.

6. Window Condition

Materials: The home had double-pane Vinyl windows.

- ✓ **Observations:**
-GENERAL CONDITION
The Inspector observed no deficiencies in the condition of window exteriors at the time of the inspection.



Crawlspace Foundation

This report describes the foundation, floor, wall structures and the method used to inspect any accessible under floor crawlspace areas. Inspectors inspect and probe the structural components of the home, including the foundation and framing, where deterioration is suspected or where clear indications of possible deterioration exist. Probing is not done when doing so will damage finished surfaces or when no deterioration is visible or presumed to exist. Inspectors are not required to offer

Crawlspace Foundation (continued)

an opinion as to the structural adequacy of any structural systems or components or provide architectural services or an engineering or structural analysis of any kind. Despite all efforts, it is impossible for a home inspection to provide any guaranty that the foundation, and the overall structure and structural elements of the building is sound.

1. Location Access

Materials: The Inspector examined the crawlspace from the inside the crawlspace.



2. Foundation Walls

Observations:



-CONCRETE FOUNDATION WALLS

At the time of the inspection, the Inspector observed few deficiencies in the condition of the poured concrete foundation walls. Notable exceptions will be listed in this report.

-WOOD DESTROYING INSECTS

Termite dropping visible in the crawlspace walls indicated infestation by wood-destroying insects. The Inspector recommends an inspection be performed by a pest control contractor.

Crawlspace Foundation (continued)



Termite dropping visible in the crawlspace walls indicated infestation by wood-destroying insects.



Termite dropping visible in the crawlspace walls indicated infestation by wood-destroying insects.



Termite dropping visible in the crawlspace walls indicated infestation by wood-destroying insects.

3. Foundation Floor

Observations:



-FLOOR MATERIAL

The crawlspace had a dirt floor.

-SOIL COVER

No soil cover was installed at the time of the inspection. Soil covers help reduce humidity levels in crawlspaces by limiting moisture evaporation into the air from soil. Reducing humidity levels can help prevent conditions that encourage mold growth and wood decay.

-DEBRIS

Maintenance Needed: **Cellulose** debris in crawlspace. Cellulose is any type of wood product, wood by-product, or construction wood debris, cardboard and paper products. This type of debris are a good source for termite infestation. The debris accumulation in this crawlspace should be removed before the final walk-through.

Crawlspace Foundation (continued)

4. Girders/Posts/Floor Joists

Observations:

✓ -GIRDER MATERIAL

Where floor joists overlapped, they were supported by engineered floor joists, that were supported by wood posts that rested on concrete pavers, concrete stem wall.

-GIRDER CONDITION

At the time of the inspection, the Inspector observed no deficiencies in the condition of the visible wood frame structure.

-SUPPORT POSTS

At the time of the inspection, the Inspector observed no deficiencies in the condition of the visible support posts.

-FASTENERS/HARDWARE

At the time of the inspection, the Inspector observed no deficiencies in the condition of the visible fasteners and hardware.



5. Sub Flooring

Observations:

✓ -FLOOR STRUCTURE MATERIALS

The floor structure consisted of oriented strand board (OSB) subfloor sheathing installed over conventional joists resting on the concrete foundation.

-GENERAL CONDITION

At the time of the inspection, the Inspector observed no deficiencies in the condition of the visible sub floor structure.

Crawlspace Foundation (continued)

6. Foundation Plumbing

Observations:

✓ -WATER SUPPLY PIPE MATERIAL

3/4" and 1/2" copper no insulation.

-WATER SUPPLY PIPE CONDITION

The Inspector observed no deficiencies in the condition of water supply plumbing pipes visible in the crawlspace at the time of the inspection.

-PLUMBING WASTE PIPE MATERIAL

ABS (Acrylonitrile-Butadiene-Styrene)(black in color) - plumbing piping.

-PLUMBING WASTE PIPE CONDITION

The Inspector observed no deficiencies in the condition of ABS plumbing pipes visible in the crawlspace at the time of the inspection.

7. Foundation Electrical

Observations:

- ✓ • At the time of the inspection, the inspector observed no deficiencies in the condition of the homes electrical in the crawlspace.

8. Ventilation

Observations:

- ✓ • Fixed foundation screened openings noted. Appeared function with no deficiency at the time of the inspection.

9. Vent Screens

Observations:

- ✓ • At the time of the inspection, the Inspector observed no deficiencies in the condition of the crawlspace ventilation screens.

10. Insulation Condition

Materials: Unfinished fiberglass batts noted.

- ✓ **Depth:** Insulation averages about 8-10 inches in depth

Observations:

- Insulation appears adequate.



Grounds

Inspection of the property grounds typically includes: - adequate exterior surface drainage; - driveway and walkways; - identification of features that introduce moisture to soil near the foundation; - window wells; - exterior electrical components; - exterior plumbing components; - potential tree problems; and- retaining walls that may affect the home structure.

Note: The General Home Inspection does not include inspection swimming pools/spas unless pre-arranged as ancillary inspections.

Grounds (continued)

1. Main Gas Valve Condition

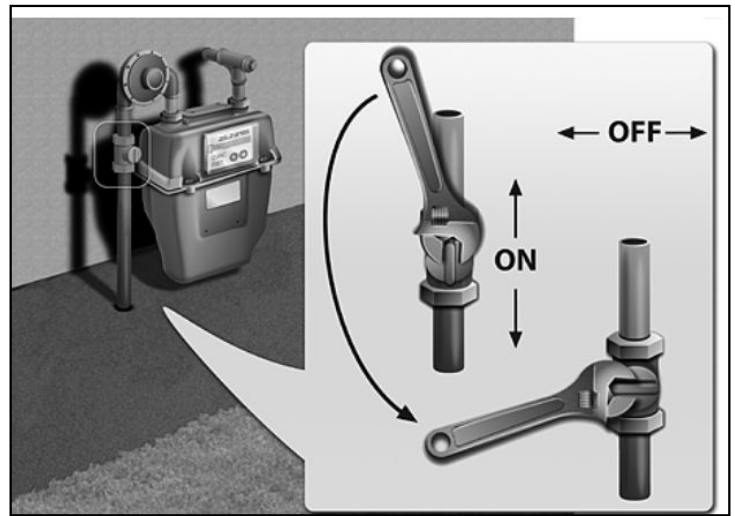
Location: Main gas shut off located at outside meter - West side.

✓ Observations:

- The gas shut-off appeared to be in serviceable condition at the time of the inspection. Shut-offs were not operated, but were visually inspected.
- The home was located in an area known to experience significant earthquakes having a gas shut off tool readily available in an emergency is a recommended safety improvement.



Main gas shut off to the home.



Basic operation of the gas shut off valve is shown above.



Having a gas shut off tool readily available in an emergency is a recommended safety improvement.

2. Main water shut off valve

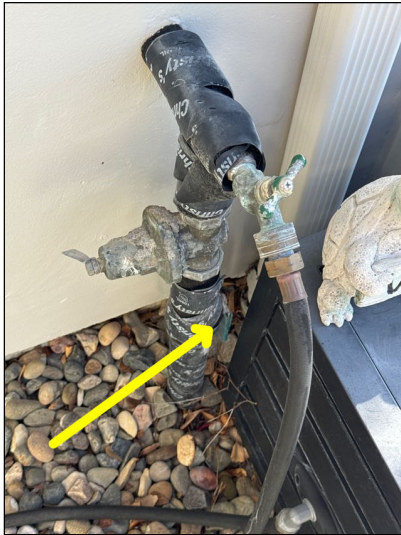
Location: South Side

Supply: Public water supply

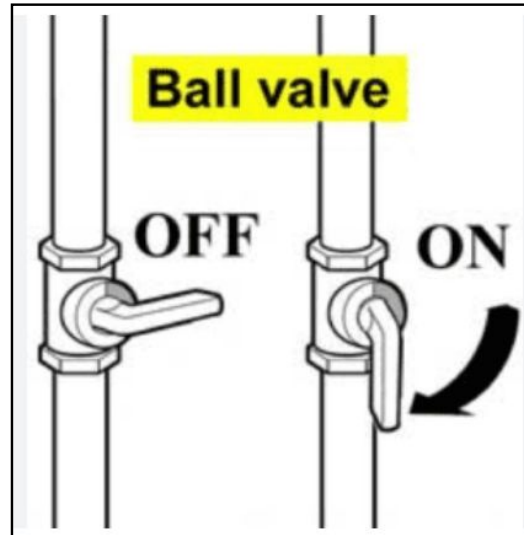


Observations: At the time of the inspection, the Inspector observed no deficiencies in the condition of the main water supply shut-off valve. It was not operated but was visually inspected.

Grounds (continued)



Main water shut off to the home where the main water line enters the home.



The basic operation for a ball valve shut off is pictured above.

3. Water Supply Condition

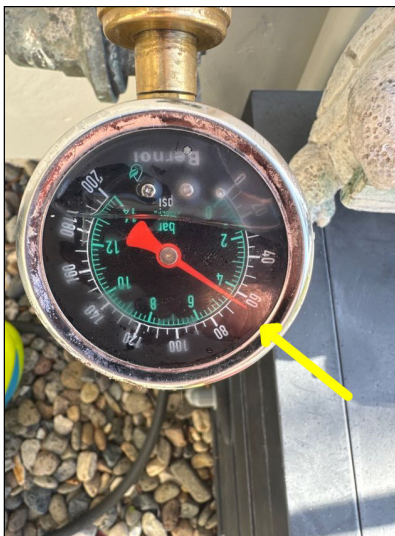
Materials: Copper piping noted.

- ✓ **Observations:** At the time of the inspection, the Inspector observed no deficiencies in the condition of the main water supply pipe.
- Most n/a due to insulation covering the pipe.

4. Water Pressure

Observations:

- ✓ • Recommend 40-80 PSI.
- Home water pressure measured 65 pounds per square inch (psi) at the time of the inspection.



Grounds (continued)

5. Pressure Regulator

Observations:

- ✓ The water distribution system was equipped with a pressure regulator. A pressure regulator is designed to regulate water pressure from the city water supply to between 25-75 PSI (they are factory set at 50 PSI).
- At the time of the inspection, the Inspector observed no deficiencies in the condition of the pressure regulator.



The water distribution system was equipped with a pressure regulator.

6. Exterior Faucet(s)

Observations:



-GENERAL CONDITION

At the time of the inspection, the Inspector observed few deficiencies in the condition of exterior water faucets. Notable exceptions are listed.

-LEAKAGE

An exterior faucet at the Rear of the house had a leaking supply line. The Inspector recommends repair by a qualified plumbing contractor.



An exterior faucet at the Rear of the house had a leaking supply line. The Inspector recommends repair by a qualified plumbing contractor.

Grounds (continued)

7. Exterior Lighting

Observations: At the time of the inspection, the inspector observed no deficiencies in the condition of the home exterior lighting.



8. Exterior Outlets/GFCI

Observations:



-EXTERIOR RECEPTACLES

At the time of the inspection, the inspector observed no deficiencies in the condition of the home exterior electrical receptacles.

In accordance with the Standards of Practice, the inspector tested a representative number of accessible outlets only.

-EXTERIOR **GFCI** RECEPTACLES

Electrical receptacles on the exterior had ground fault circuit interrupter (GFCI) protection that responded to testing in a satisfactory manner at the time of the inspection. The inspector tested a representative number of accessible receptacles only.

9. Grading

Observations:



-BUILDING SITE GRADE

The building site was steeply sloped with terraces. Terracing helps prevent soil erosion.

-GENERAL CONDITION

The home was built on a hillside that will drain runoff from precipitation toward the home. Grading near the home mostly sloped away from the foundation adequately at the required minimum of ¼-inch or more per foot for a distance of at least six feet from the foundation. Notable exceptions are listed.

The home had areas of neutral or negative drainage that will route runoff from precipitation toward the foundation. Excessively high moisture levels in soil supporting the foundation can effect its ability to support the weight of the structure above. The ground should slope away from the home a minimum of ¼-inch per foot for a distance of at least six feet from the foundation. The Inspector recommends that these areas be re-grading to improve drainage near the foundation.

Grounds (continued)



The home had areas of neutral or negative drainage that will route runoff from precipitation toward the foundation.



The home had areas of neutral or negative drainage that will route runoff from precipitation toward the foundation.

10. Driveway and Walkway Condition

Materials: Concrete driveway noted. • Concrete sidewalk noted.



Observations:

-GENERAL CONDITION

Driveway/Walkway in good shape for age and wear.

11. Fence Condition

Materials:



-FENCES

Fences were chain link.

Fences were made of plastic vinyl.

-GATES

The gates were made of wood.

The gates were made of chain link.

-RETAINING WALLS

Retaining walls were constructed using split faced block.

Observations:

-FENCING CONDITION

The inspector observed no deficiencies in the condition of the fence. Structural assembly inaccessible.

-GATE CONDITION

The inspector observed no deficiencies in the condition of the gates. Structural assembly inaccessible.

-RETAINING WALLS

The inspector observed no deficiencies in the retaining walls at the time of the inspection.

12. Vegetation Observations

Observations:



• Landscape vegetation around the home appeared in satisfactory condition at the time of inspection.

Grounds (continued)

13. Sprinklers

Observations:

- ✓ Home is equipped with an underground sprinkler system. The inspector recommends client consult with homeowner for operation instructions and proper winterizing information. Sprinkler systems are beyond the scope of a Home Inspection, due to most of its parts/piping not visible for inspection.
- The sprinkler system operates with a control panel located in the garage.

14. Structural Integrity

Observations:

- ✓ **-ATTACHMENT**
The balcony was connected to the home with a ledger attached to the home exterior walls. Posts supported the outer portion of the balcony.
At the time of the inspection, the Inspector observed no deficiencies in the condition of the attachment of this balcony to the home.
- HARDWARE**
At the time of the inspection, the Inspector observed no deficiencies in the condition of the balconies hardware.

15. Balcony Condition

Observations:

- ✓ **-GENERAL CONDITION**
At the time of the inspection, the Inspector observed no deficiencies in the condition of the balconies.
- WALKING SURFACE**
Balcony planking (the walking surface) was composed of wood.
- SURFACE CONDITION**
At the time of the inspection, the Inspector observed no deficiencies in the condition of the balconies walking surface.
- GUARDRAIL MATERIAL**
Guardrail assemblies protecting the balcony were made of wood.
- GUARDRAIL CONDITION**
At the time of the inspection, the Inspector observed no deficiencies in the condition of the balcony guardrail assemblies. Inspection of guardrails typically includes examination of the following: - Attachment to the balcony; - Attachment to the home structure; - Stable condition; and - Modern safety standards.

Grounds (continued)

16. Stairs/Guardrails

Observations:



-STAIR MATERIALS

This deck staircase staircase was entirely constructed of wood.

-GENERAL CONDITION

At the time of the inspection, the Inspector observed no deficiencies in the condition of the deck stairs. Notable exceptions will be listed in this report.

-TREAD MATERIAL

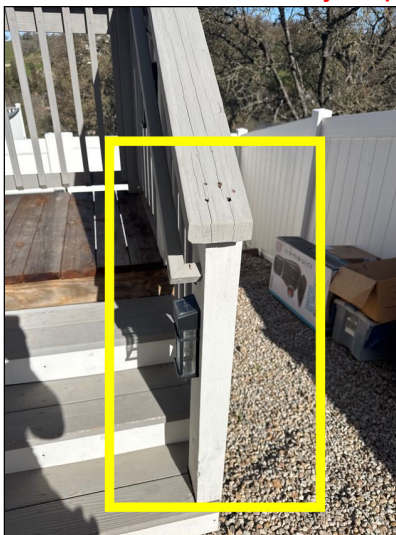
The treads of this this deck staircase were made of wood.

-TREAD CONDITION

At the time of the inspection, the Inspector observed no deficiencies in the condition of the stair treads.

-STAIR HANDRAIL SUPPORT POSTS

The handrail was loose and should be made secure by a qualified contractor.



The handrail was loose and should be made secure by a qualified contractor.



Electrical

Over the years, many different types and brands of electrical components have been installed. Electrical components and standards have changed and continue to change. For this reason, full inspection of home electrical systems lies beyond the scope of the General Home Inspection. The General Home Inspection is limited to identifying common electrical requirements and deficiencies. Conditions indicating the need for a more comprehensive inspection will be referred to a qualified electrical contractor.

Inspection of the home electrical system typically includes the following:

- service drop: conductors, weatherhead, and service mast;

Electrical (continued)

- electric meter exterior;
- service panel and sub-panels;
- service and equipment grounding;
- system and component bonding; and
- visible branch wiring

1. Cable Feed Condition

Type:

- ✓ Underground service lateral supplying electricity to the home. Underground service lateral is the underground service conductors from the last pole, pedestal, transformer, or other OPPD serving equipment, which runs to, and is connected to the meter structure.

Observations:

-GENERAL CONDITION

The Inspector observed no deficiencies in the visual condition of underground service lateral.

2. Electrical Panel

Main Location: Exterior of structure. • East side of the house.

- ✓ **Sub Panel Location:** Under the back deck

Observations:

-MAIN PANEL BRAND

The main service panel brand was Siemens.

-MAIN PANEL CABINET EXPOSURE TYPE

The service panel cabinet was a type 3R, rated for outdoor use primarily to provide a degree of protection against rain, sleet and damage from external ice formation.

-SUB PANEL BRAND

The service sub panel brand was Square D.

-SUB PANEL CABINET EXPOSURE TYPE

The sub panel cabinet was a type 3R, rated for outdoor use primarily to provide a degree of protection against rain, sleet and damage from external ice formation.

-ELECTRICAL METER

The Inspector observed no deficiencies in the condition of the electric meter. Electric meters are installed by utility companies to measure home electrical consumption.

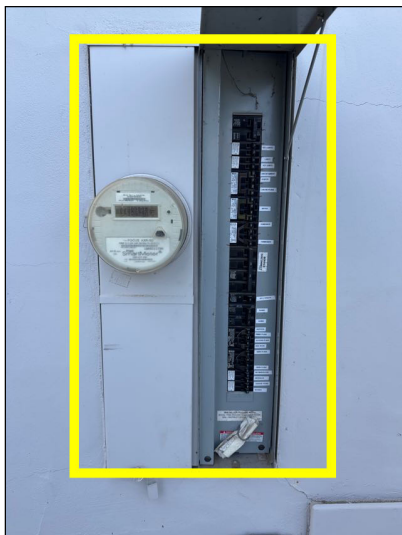
-TYPE of DISCONNECT

The service disconnect was a breaker type. A service disconnect is a device designed to shut off power to all overcurrent devices (circuit breakers or fuses) and branch circuits in the home.

-BRANCH CIRCUIT DIRECTORY

The branch circuit directory was clearly marked and appeared to be accurate at the time of inspection.

Electrical (continued)



Main electrical service panel to the home.

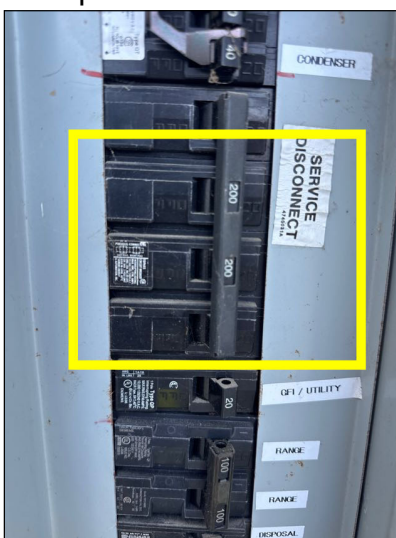


Sub panel to the pool/spa

3. Main Breaker Condition

Observations:

- ✓ The main amp breaker is rated at 200 AMPS.
- The Inspector observed no deficiencies in the condition of the electrical service disconnect. It was inspected visually but was not operated.



Main electrical shut off to the home

Electrical (continued)

4. Panel Wiring

Observations:

-WIRE TYPE

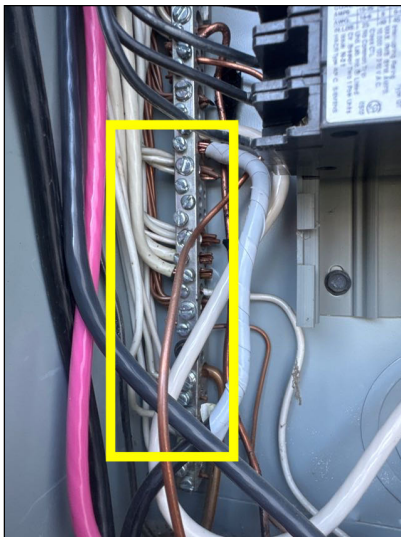
The visible branch circuit wiring was modern solid, vinyl-insulated copper wire.

-GENERAL CONDITION

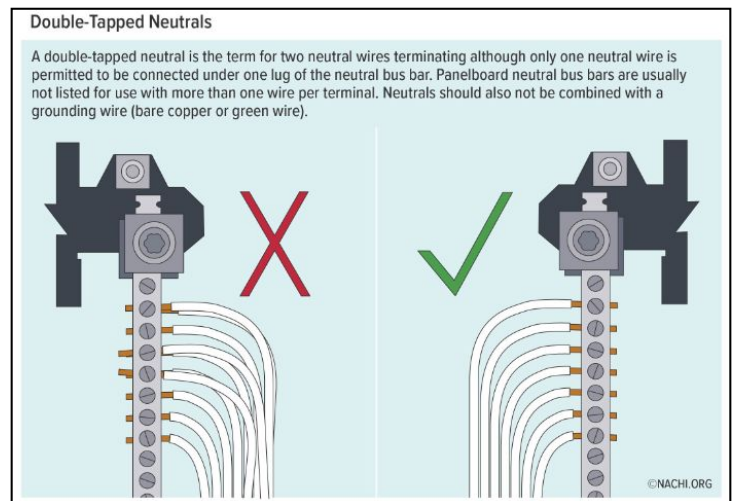
At the time of the inspection, the Inspector observed few deficiencies in the condition of circuit wires in the electrical service panel. Notable exceptions are listed.

-WIRING DEFECTS

Multiple neutral conductors (white wire) from separate branch or separate feeder circuits cannot be installed in the same neutral terminal (lug screw). The Inspector recommends correction by a qualified electrical contractor.



Multiple neutral conductors (white wire) from separate branch or separate feeder circuits cannot be installed in the same neutral terminal (lug screw)



5. Breakers

Observations:

-GENERAL CONDITION

At the time of the inspection, the Inspector observed no deficiencies in the condition of circuit breakers in the electrical service panel.



Heat/AC

The heating, ventilation, and air conditioning and cooling system (often referred to as HVAC) is the climate control system for the structure. The goal of these systems is to keep the occupants at a comfortable level while maintaining indoor air quality, ventilation while keeping maintenance costs at a minimum. The HVAC system is usually powered by electricity and natural gas, but can also be powered by other sources such as butane, oil, propane, solar panels, or wood.

The inspector will usually test the heating and air conditioner using the thermostat or other controls. For a more thorough investigation of the system please contact a licensed HVAC service person.

1. Heating/Cooling System Type

Observations:

- ✓ The heating/cooling is a split system in which the **A/C** cabinet housing the compressor, cooling fan and condensing coils was located physically apart from the evaporator coils and furnace. As is typical with split systems, the compressor/condenser cabinet was located at the home's exterior so that the heat collected inside the home could be released to the outside air. Evaporator coils designed to collect heat from the home interior were located inside a duct at the furnace.

2. Heater Condition

Heater Location: Unit #1 • The furnace is located in the attic

Heater Type: Unit #1 • The furnace was gas-fired, mid-efficiency, forced-air.

Observations:

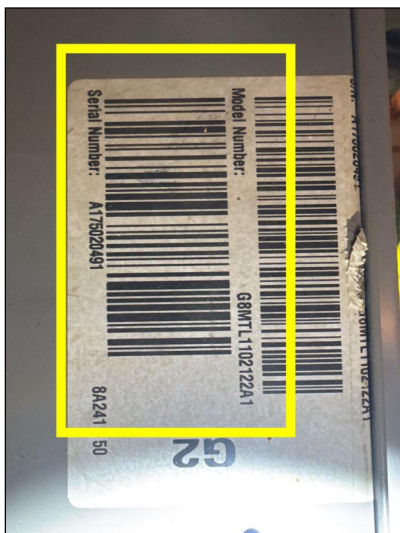
Unit #1

Manufacture: Day and Night

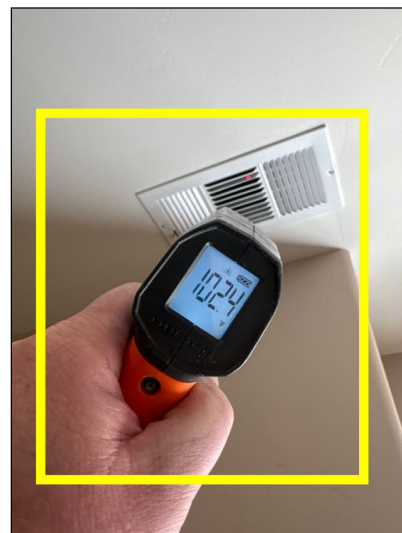
Manufacture Date: 2017

-GENERAL CONDITION

This furnace responded adequately to the call for heat and functioned properly.



Heater model and serial number



The supply air temperature at the registers should be 100 °F - 125 °F + to be considered running efficiently.

Heat/AC (continued)

3. Blower

Observations:



Unit #1

The furnace blower appeared to operate in a satisfactory manner at the time of the inspection.

4. Heater Base

Observations:



Unit #1

The heater base appears to be functional.

5. Heater Enclosure

Observations:



Unit #1

No major system safety or function concerns noted at time of inspection.

6. Venting

Observations:



Unit #1

-VENTING MATERIALS

Metal double wall chimney vent pipe noted.

-VENTING OBSERVATIONS

At the time of the inspection, the Inspector observed no deficiencies in the condition of the combustion exhaust vent of the furnace.

7. Gas Valves

Observations:



Unit #1

At the time of the inspection, the Inspector observed no deficiencies in the condition of the shut off valve or visible gas supply pipes.

8. Air Supply

Observations:



Unit #1

-CONDITION

The return air system appeared to be adequately configured and operating in a satisfactory manner at the time of the inspection.

Heat/AC (continued)

9. Filter Location

Location: Unit #1 • inside a filter grill in the hall ceiling.

✓ **Filter size:** Unit #1 • Filter (20x25 size).

Observations:

• The air filter for this furnace appeared to be in serviceable condition at the time of the inspection.

Filters should be checked every three months and replaced when they reach a condition in which accumulation of particles becomes so thick that particles may be blown loose from the filter and into indoor air.

Failure to change the filter when needed may result in the following problems:

- Reduced blower life due to dirt build-up on vanes, which increasing operating costs.
- Reduced effectiveness of air filtration resulting in deterioration of indoor air quality.
- Increased resistance resulting in the filter being sucked into the blower.
- Frost build-up on air-conditioner evaporator coils, resulting in possible damage.
- Reduced air flow through the home.

Note: Air filters are designed to keep you HVAC system clean and efficient. Most HVAC systems are not designed to improve indoor air quality. The inspector recommends using the cheap fiberglass filters as that are designed to stop dust, debris and hair from gunking up the system. Pleated more expensive air filters made from polyester or cotton will remove smaller particles, but the trade-off to cleaner air is that the system performance will drop which makes the system more expensive to operate. Pleated filters can also cause stress on the blower motor, which impacts the refrigeration in the evaporator coil, potentially causing the coil to ice up.



10. Registers

Observations:

✓ • The air supply registers all appear to be functional.

Heat/AC (continued)

11. Thermostat Condition

Location: Unit #1 • Hallway



Observations:

-TYPE

Digital - programmable type.

-GENERAL CONDITION

Functional at the time of inspection.



12. Condensate Drain/Overflow Pan

Observations:



Unit #1

-CONDENSATE DRAIN LINE

The condensate discharge line appeared to be acceptable at the time of the inspection.

The overflow pan appeared to be acceptable at the time of the inspection.

Heat/AC (continued)

13. AC Compress Condition

Location: Unit #1 • The compressor is located on the exterior east.

Unit Size: Unit #1 • 4.0 Tons - (Typical size for a home square footage of 2,000-2,500 square feet)

Observations:

Unit #1

Manufacture: Day and Night

Manufactured Date: 2017

-GENERAL CONDITION

At the time of the inspection, the system responded to the call for cool air and functioned properly.

-TEMPERATURE SPLITS

The differences in air temperature measured at supply and return registers fell within the acceptable range of between 14 and 22 degrees F.

-A/C ELECTRICAL DISCONNECT

Although it was not operated, the electrical disconnect for the condensing unit appeared to be properly located and installed at the time of the inspection. It was not operated.

-PAD and ENCLOSURE

The pad supporting the air-conditioner compressor housing appeared to be in satisfactory condition at the time of the inspection.

The enclosure protecting the air-conditioner compressor housing appeared to be in satisfactory condition at the time of the inspection.



AC model and serial number



Return Temperature

Heat/AC (continued)



Supply Temperature

14. Refrigerant Lines

Observations:



Unit #1

At the time of the inspection, the Inspector observed no deficiencies in the condition of the visible air-conditioner refrigerant lines.



Water Heater

Water heaters should be expected to last for the length of the warranty only, despite the fact that many operate adequately for years past the warranty date. Water heater lifespan is affected by the following: The lifespan of water heaters depends upon the following: - The quality of the water heater - The chemical composition of the water - The long-term water temperature settings - The quality and frequency of past and future maintenance Flushing the water heater tank once a year and replacing the anode every four years will help extend its lifespan. You should keep the water temperature set at a minimum of 120 degrees Fahrenheit to kill microbes and a maximum of 130 degrees to prevent scalding.

Water Heater (continued)

1. Water Heater Condition

Heater Type: Unit #1

✓ -GAS-FIRED WATER HEATER

This water heater was gas-fired. Gas water heaters heat water using a gas burner located in a chamber beneath the water tank. The gas control mechanism contains safety features designed to prevent gas from leaking into the living space if the burner should fail for some reason. Gas-fired water heaters can be expected to last the length of the stated warranty and after its expiration may fail at any time.

Location: Unit #1 • The heater is located in the garage.

Observations:

Unit#1

Manufacture: Whirlpool

Manufacture Date: 2013

-GENERAL CONDITION/OPERATION

At the time of the inspection, the Inspector observed no deficiencies in the condition or operation of the water heater.



Water heater model and serial number

2. Number Of Gallons

Observations:

✓ Unit #1
50 gallons

3. Plumbing

Materials: Unit #1 • Copper

✓ Observations:
Unit #1

At the time of the inspection, the Inspector observed no deficiencies in the visible portions of the of water pipe fittings connected to this water heater.

Water Heater (continued)

4. TPRV

Observations:



Unit #1

At the time of the inspection, the Inspector observed no deficiencies in the condition of the temperature/pressure relief (TPR) valve (not tested).

5. TPR Discharge Line Condition

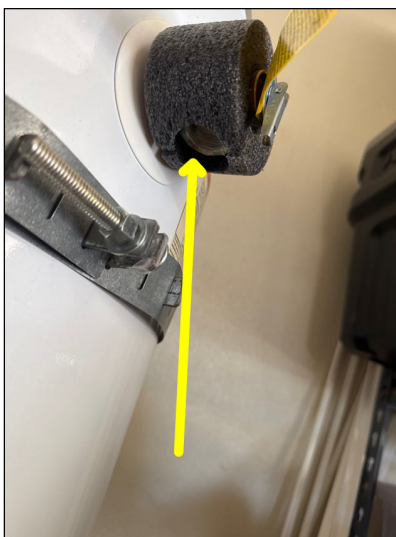
Materials: None



Observations:

Unit #1

The discharge line for the water heater relief valve (TPRV) is missing. This is a potential scalding concern as water can discharge improperly. Recommend installing the proper **TPR valve** discharge tube that must be made of copper, iron, or CPVC (NOT regular **PVC**). It must terminate within 6" above the floor--the end cannot be threaded or have a fitting. We recommend that the discharge line extend to the exterior of the home if possible.



The discharge line is missing for the water heater relief valve (TPRV).

6. Gas Valve/Supply

Observations:

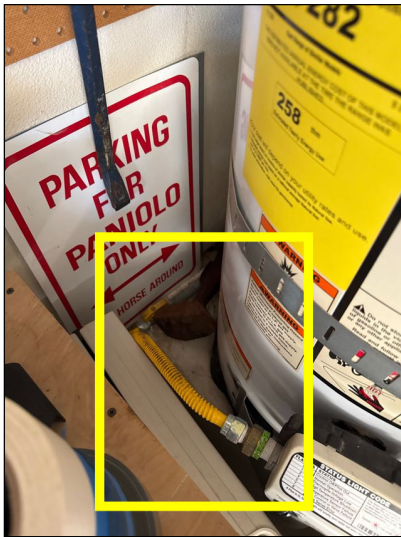


Unit #1

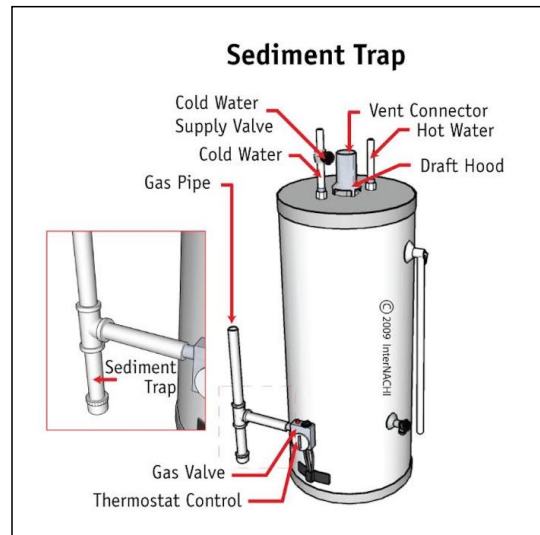
At the time of the inspection, the Inspector observed no deficiencies in the condition of the shut off valve or visible gas supply pipes.

Recommended Improvement: The gas supply pipe contained no sediment trap. The purpose of a sediment trap is to prevent sediment or debris particulates from entering and clogging the water heater gas valve, which can cause the water heater to shut down. You may wish to consult with local contractor concerning the advisability of installing a sediment trap in the gas line.

Water Heater (continued)



Improvement: The gas supply pipe contained no sediment trap.



The purpose of a sediment trap is to prevent sediment or debris particulates from entering and clogging the water heaters gas valve

7. Combustion Vent/Air Supply

Observations:

Unit #1



-COMBUSTION EXHAUST

Combustion air supplying this water heater appeared to be sufficient at the time of the inspection.

-COMBUSTION VENT CONDITION

The combustion exhaust vent for this gas-fired water heater had no major system safety or function concerns noted at time of inspection.

8. Strapping

Observations:

Unit #1



This water heater was fastened securely with the required two 1 1/2" steel straps 16 gauge, 1/3 from the top and the bottom to prevent any movement of the unit.

9. Heater Enclosure

Observations:

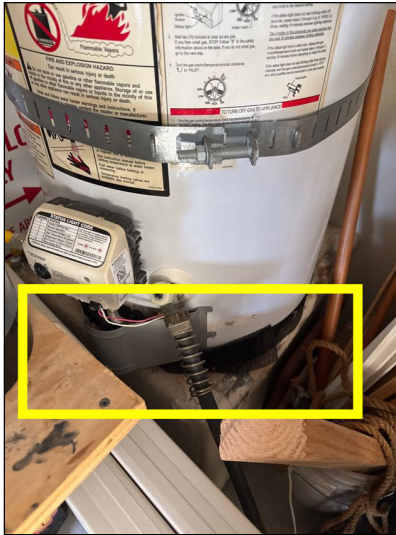
Unit #1



The water heater enclosure is functional.

Improvement: Although this water heater was installed in a location in which leakage of the tank or plumbing connections would cause damage, no drip pan was installed. A proper drip pan should be installed by a qualified plumbing contractor to prevent possible water damage.

Water Heater (continued)



Garage

Inspection typically includes examination of the following: - general structure; - floor, wall and ceiling surfaces; - operation of all accessible conventional doors and door hardware; - proper electrical condition including Ground Fault Circuit Interrupter (GFCI) protection; - interior and exterior lighting; - proper firewall separation from living space; and - proper floor drainage

1. Garage Door Condition

Materials: Two - single 9'W, double 16'W upgraded insulated steel panel, sectional roll-up doors.



Observations:

- At the time of the inspection, the Inspector observed few deficiencies in the condition of the overhead vehicle doors. Notable exceptions will be listed in this report.

- **Monitor:** A garage vehicle door panel had moderate damage visible. The Inspector recommends that before the expiration of your Inspection Objection Deadline you consult with a qualified contractor to discuss options and costs for repairs/replacement.

Garage (continued)



2. Garage Opener Status

Observations:

✓ -OPENER TYPE

Chain drive opener noted.

-NUMBER of OPENERS

Only 1 of the 2 overhead garage doors were equipped with automatic door openers.

-OPENER OPERATION

The automatic garage door opener responded to the controls at the time of the inspection.

3. Garage Door's Reverse Status

Observations:

✓ -PHOTO-SENSOR

The photoelectric sensor designed to activate the automatic-reverse at the overhead garage door responded to testing as designed.

4. Garage Door Parts

Observations:

-GENERAL CONDITION

The overhead garage door appeared At the time of the inspection, the Inspector observed few deficiencies in the condition of the overhead garage door components. Notable exceptions will be listed.

-WEATHER STRIPPING

The bottom weather stripping on the overhead door is showing signs of deterioration or missing in areas. It is recommended that this be replaced as to help keep rain water out, unwanted pests and help control the climate of your garage. All work should be performed by a qualified contractor.

Garage (continued)



The bottom weather stripping on the overhead door is showing signs of deterioration or missing in areas.

5. Garage Electrical

Observations:

✓ -GFCI RECEPTACLES

Electrical receptacles in the garage had Ground Fault Circuit Interrupter (GFCI) protection that responded to testing in a satisfactory manner at the time of the inspection. The inspector tested a representative number of accessible receptacles only.

-CONVENTIONAL RECEPTACLES

Although some outlets were not accessible due to stored personal items in the way at the time of the inspection, the Inspector observed no deficiencies in the condition of electrical receptacles.

-SWITCHES

At the time of the inspection, the Inspector observed no deficiencies in the condition of electrical switches in the garage.

-LIGHTING

At the time of the inspection, the Inspector observed no deficiencies in the condition of lights in the garage.

6. Exterior Door

Observations:

✓ -GENERAL CONDITION

At the time of the inspection, the Inspector observed no deficiencies in the condition of exterior door in the garage.

7. Fire Door

Observations:

✘ The door in the wall between the garage and the home living space did not meet generally-accepted current safety standards. Pet doors in firewall doors are a breach in the firewall.

The door in the wall between the garage and the home living space did not meet generally-accepted current safety standards. Door stops that prevent the door from self-closing are considered a breach in the firewall.

Garage (continued)



Pet doors in firewall doors are a breach in the firewall.



Door stops that prevent the door from self-closing are considered a breach in the firewall.

8. Floor Condition

Materials: Bare concrete floors noted.

Observations:
 ✓ **-GENERAL CONDITION**

At the time of the inspection, the Inspector observed no deficiencies in the condition of the garage floor.

At the time of the inspection, the occupant's belongings significantly limited the Inspector's view of the garage floor.

9. Firewall

Observations:

✓ **-FIRE BARRIER WALL**

The walls separating the garage from home living space appeared to meet generally-accepted current safety standards for firewalls. Firewalls are designed to resist the spread of a fire which starts in the garage for a certain length of time in order to give the home's occupants adequate time to escape.

10. Walls

Observations:

✓ **-GENERAL WALL CONDITION**

Although some areas not accessible due to stored personal items at the time of the inspection, the Inspector observed no deficiencies in the condition of the visible walls in this garage.

Garage (continued)

11. Ceiling Condition

Materials: There are drywall ceilings noted.



Observations:

• At the time of the inspection, the Inspector observed few deficiencies in the condition of the garage ceilings. Notable exceptions are listed.

• **Monitor.** Stains on the ceiling in the garage visible at the time of the inspection appeared to be the result of moisture intrusion. The moisture meter showed no elevated levels of moisture present in the stained areas at the time of the inspection, indicating that the source of moisture may have been corrected, or leakage may be intermittent. Normal moisture reading in drywall is 5-12% based on relative humidity with in the home. A reading up to 17% means that the drywall is salvageable, but any moisture level above 17% tells us that the drywall has been compromised and will need to be replaced.



Monitor: Stains on the ceiling in the garage visible at the time of the inspection appeared to be the result of moisture intrusion.

12. Ventilation

Observations:



-GARAGE VENT TYPE

Under eave Soffit vents were installed as part of the roof structure ventilation system. Gable vents were installed to ventilate the garage attic space.

-GARAGE VENT CONDITION

At the time of the inspection, the Inspector observed no deficiencies in the condition of garage ventilation.

13. Vent Screens

Observations:



• At the time of the inspection, the Inspector observed no deficiencies in the condition of roof ventilation screens.

14. Window Condition

Observations: None present.



Garage (continued)

15. Garage Roof

Observations: ****SEE ROOF SECTION FOR DETAILS****



Attic

Inspection of the attic typically includes visual examination the following: - roof structure (framing and sheathing); - attic space ventilation; - thermal insulation; - electrical components (outlets, switches and lighting); - plumbing components (supply and vent pipes, bathroom vent terminations) and - HVAC ducting

1. Access Observation

Location:

✓ Scuttle Hole in: • Primary Bedroom Closet.

Method of Inspection: The Inspector evaluated the attic from inside the attic space.

Observations:

-ATTIC APPROACH CONDITION

Appeared functional - Attic light located just inside access was operable at the time of inspection.

2. Structure

Observations:

✓ **-ROOF SHEATHING MATERIAL**

The home had radiant barrier roof sheathing installed. Radiant barrier sheathing consists of a foil-type material bonded to the underside of the roof sheathing panels. It's purpose is to reflect heat to help reduce cooling costs.

-ROOF SHEATHING CONDITION

The Inspector observed no deficiencies in the condition of the roof sheathing at the time of the inspection.

-ROOF TRUSS CONDITION

The inspector observed no deficiencies in the condition of the visible portions of the roof trusses. At the time of the inspection, portions of the trusses were hidden beneath thermal insulation.

-TRUSS HARDWARE

The inspector observed no deficiencies in the condition of the visible portions of the roof truss hardware. At the time of the inspection, portions of the trusses were hidden beneath thermal insulation.

Attic (continued)

3. Electrical

Observations: The Inspector observed no deficiencies in the condition of the electrical components visible in the attic at the time of the inspection.



4. Attic Plumbing

Observations:



-PLUMBING VENT MATERIAL

ABS (Acrylonitrile-Butadiene-Styrene)(black in color) - plumbing vent piping.

-PLUMBING VENT PIPE CONDITION

The Inspector observed no deficiencies in the condition of ABS plumbing vent pipes visible in the attic at the time of the inspection.

-WATER SUPPLY PIPE MATERIAL

No water supply pipes were visible for identification in the attic.

-GAS SUPPLY PIPE MATERIAL

The home gas distribution pipes were black steel.

-GAS SUPPLY PIPE CONDITION

At the time of the inspection, the Inspector observed no deficiencies in the condition of the gas supply pipes. Most pipes were not visible due to interior wall coverings.

5. Ventilation

Observations:



-ROOF VENT TYPE

Under eave Soffit vents were installed as part of the roof structure ventilation system.

Gable vents were installed to ventilate the attic space.

Roof vents, also called turtle vents, were installed as part of the roof structure ventilation system.

-ROOF VENT CONDITION

At the time of the inspection, the Inspector observed no deficiencies in the condition of roof structure ventilation.

6. Vent Screens

Observations:



• At the time of the inspection, the Inspector observed no deficiencies in the condition of roof ventilation screens.

7. Duct Work

Observations:



-DUCT CONDITION

At the time of the inspection, the Inspector observed no deficiencies in the condition of the visible HVAC ducts.

8. Exhaust Vent

Observations:



• At the time of the inspection, the Inspector observed no deficiencies in the condition of exhaust vents.

Attic (continued)

9. Insulation Condition

Materials:

✓ -FIBERGLASS

The attic floor was insulated with unfinished fiberglass batts.

Depth: Insulation averages about 14-16 inches in depth

Observations:

- The inspector observed no deficiencies in the condition of the thermal insulation at the time of the inspection.



Interior Areas

The Interior section covers areas of the house that are not considered part of the Bathrooms, Bedrooms, Kitchen or areas covered elsewhere in the report. Interior areas usually consist of hallways, foyer, and other open areas. Within these areas the inspector is performing a visual inspection and will report visible damage, wear and tear, and moisture problems if seen. Personal items in the structure may prevent the inspector from viewing all areas on the interior. The inspector does not usually test for mold or other hazardous materials. A qualified expert should be consulted if you would like further testing.

1. Smoke/CO2 Detectors

Observations:

✓ -SMOKE DETECTORS

Smoke detector placement appeared to be adequate and operated during the inspection.

Safety Note: Average lifespan of a smoke detector is 8-10 years. If the smoke detector starts yellowing this is an indication of age and most likely should be replaced regardless if it is functional. Most Smoke detector manufacturers inject a fire retardant bromine into the plastic of residential smoke detectors, as a side effect, this additive turns the polymer yellow over time as it is exposed to heat, oxygen, and UV light.

-SMOKE /CARBON MONOXIDE DUAL DETECTOR

Smoke and carbon monoxide dual detector placement appeared to be adequate and operated during the inspection.

Safety Note: Average lifespan of a smoke detector is 8-10 years. If the smoke detector starts yellowing this is an indication of age and most likely should be replaced regardless if it is functional. Most Smoke detector manufacturers inject a fire retardant bromine into the plastic of residential smoke detectors, as a side effect, this additive turns the polymer yellow over time as it is exposed to heat, oxygen, and UV light.

2. Electrical

Observations: Although some outlets were not accessible due to stored personal items in the way at the time of the inspection, the Inspector observed no deficiencies in the condition of electrical receptacles. In accordance with the Standards of Practice, the inspector tested a

✓ representative number of accessible outlets only.

Interior Areas (continued)

3. Light Fixture Condition

Observations:

- ✓ At the time of the inspection, the Inspector observed no deficiencies in the condition or operation of the light fixture.

4. Doors

Observations:

- ✓ At the time of the inspection, the Inspector observed no deficiencies in the condition of the interior doors.

5. Patio Doors

Observations:

- ✓ **-GENERAL CONDITION -SLIDER DOOR**
The Inspector observed no deficiencies in the condition of the sliding glass doors.

6. Screen Doors

Observations:

- ✓ Sliding door screen present.
- The Inspector observed no deficiencies in the condition of the screen doors.

7. Window Condition

Materials: Vinyl framed sliding window noted.

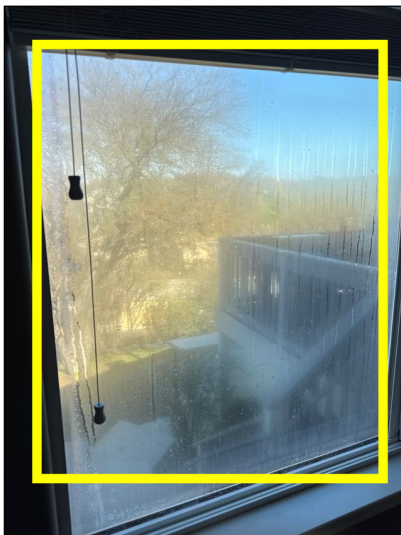


Observations:

-GENERAL CONDITION

The Inspector observed few deficiencies in the interior condition and operation of windows of the home. Notable exceptions are listed.

Although no condensation was visible at the time of the inspection, staining and etching of the glass at a window in the Dining Room indicated a loss of thermal integrity. Etching of the glass from long-term exposure to condensation constitutes permanent damage. The Inspector recommends that before the expiration of your Inspection Objection Deadline you consult with a qualified contractor to discuss options and costs for replacement.



Staining and etching of the glass at the window indicated a loss of thermal integrity.



Staining and etching of the glass at the window indicated a loss of thermal integrity.

Interior Areas (continued)

8. Floor Condition

Flooring Types: Ceramic tile is noted.



Observations: The Inspector observed few deficiencies in the condition of floors in the home. Notable exceptions are listed.

The Hallway had cracked floor tiles visible at the time of the inspection. You should ask the seller if spare tiles are available as matching replacements. The Inspector recommends that before the expiration of your Inspection Objection Deadline you consult with a qualified contractor to discuss options and costs for replacement.

Grout lines in the tile floor of the Hallway needed maintenance at the time of the inspection. All work should be performed by a qualified contractor.



The Hallway had cracked floor tiles visible at the time of the inspection.



Grout lines in the tile floor of the Hallway needed maintenance at the time of the inspection.

9. Wall Condition

Materials: Drywall walls noted.



Observations: Although some areas not accessible due to stored personal items at the time of the inspection, the Inspector observed no deficiencies in the condition of the visible walls in the interior areas.

10. Ceiling Condition

Materials: Drywall ceilings noted.



Observations: At the time of the inspection, the Inspector observed few deficiencies in the condition of ceilings in the home. Notable exceptions are listed.

Monitor: Normal settlement cracking was visible in interior ceiling of the home at the time of the inspection. This cracking appeared to be consistent with that caused by normal settlement. Settlement typically takes place in the first few years after original construction, and then stops. Cracks can be repaired and sealed, but may reappear over time with temperature and humidity levels.

Interior Areas (continued)



Monitor: Normal settlement cracking was visible in interior ceiling of the home at the time of the inspection.

11. Ceiling Fans

Observations:

- ✓ • All ceiling fans in the home were operable and appeared to be in serviceable condition at the time of the inspection.

12. Closets/Cabinets

Observations:

- ✓ **-CLOSETS**
The closet is in serviceable condition.

-CABINETS

At the time of the inspection, the Inspector observed no deficiencies in the condition of the cabinets.

13. Door Bell

Observations:

- ✓ • Operated normally when tested.

14. Fireplace

Materials: Living Room

- ✓ **Materials:** Prefabricated "zero clearance" fireplace noted.

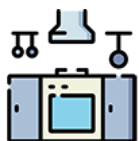
Observations:

-GAS-BURNING FIREPLACE CONDITION

At the time of the inspection, the Inspector observed no deficiencies in the condition of the gas-fueled fireplace in the Living Room. Full inspection of gas-burning fireplaces lies beyond the scope of the General Home Inspection. For a full inspection to more accurately determine the condition of the fireplace and to ensure that safe conditions exist, the Inspector recommends that you have the fireplace inspected by an inspector certified by the Chimney Safety Institute of America (CSIA).

Find a CSIA-certified inspector near you at <http://www.csia.org/search>

Interior Areas (continued)



Kitchen

Inspection of kitchens typically includes the following: ROOM- wall, ceiling and floor- windows, skylights and doors APPLIANCES- range/cooktop (basic functions, anti-tip)- range hood/downdraft (fan, lights, type)- dishwasher (operated only at the Inspector's discretion) CABINETS- exterior and interior- door and drawer SINK- basin condition- supply valves- adequate trap configuration- functional water flow and drainage- disposal ELECTRICAL- switch operation- outlet placement, grounding, and GFCI protection

1. Cabinets

Observations:



-GENERAL CONDITION

At the time of the inspection, the Inspector observed no deficiencies in the condition of the kitchen cabinets.

2. Counter Condition

Materials: Solid Surface tops noted.



Observations:

-GENERAL COUNTERTOPS

At the time of the inspection, the Inspector observed no deficiencies in the condition of the kitchen countertops.

3. Electrical



Observations: At the time of the inspection, the Inspector observed no deficiencies in the condition of electrical receptacles in the kitchen.

Kitchen (continued)

4. GFCI

Observations: Electrical receptacles in the kitchen had ground fault circuit interrupter (GFCI) protection which responded to testing in a satisfactory manner at the time of the inspection.



5. Light Fixture Condition

Observations:

• At the time of the inspection, the Inspector observed no deficiencies in the condition or operation of the light fixture.



6. Sinks

Observations:

-KITCHEN SINK CONDITION

At the time of the inspection, the Inspector observed no deficiencies in the condition and operation of the kitchen sink.

-KITCHEN SINK FAUCET

The kitchen sink faucet appeared to be in serviceable condition at the time of the inspection.

-KITCHEN SINK SUPPLY PIPES

The supply pipes to the kitchen sink appeared to be in serviceable condition at the time of the inspection.

-KITCHEN SINK DRAIN

At the time of the inspection, the Inspector observed no deficiencies in the condition and operation of drain in the kitchen.

The kitchen sink had functional flow and functional drainage at the time of the inspection.



7. Garbage Disposal

Observations:

• At the time of the inspection, the Inspector observed no deficiencies in the condition and operation of the garbage disposal.



8. Dishwasher

Observations:

• At the time of the inspection, the Inspector observed no deficiencies in the condition and operation of the dishwasher. It was operated through a cycle.



9. Range/Oven/Cooktop Condition

Observations:

-GAS COOKTOP

The home was equipped with a gas-fired cooktop. At the time of the inspection, the Inspector observed no deficiencies in the condition and operation of the cooktop. All heating elements operated when tested.

-ELECTRIC OVEN

The Inspector observed no deficiencies in the condition and operation of the electric built-in oven.



Kitchen (continued)

10. Vent Condition

Hood Type: The exhaust vent of the range hood discharged exhaust to the home exterior.

Observations:

• At the time of the inspection, the Inspector observed no deficiencies in the condition and operation of the range hood exhaust fan and lights.

• **Safety:** Any range hood, including microwaves, installed above the stove must be a minimum of 24 inches away from the surface of the stove top if the hood is made of a noncombustible material. The Inspector recommends that before the expiration of your Inspection Objection Deadline you consult with a qualified contractor to discuss options and costs for repair or replacement.



Safety: Any range hood, including microwaves, installed above the stove must be a minimum of 24 inches

11. Microwave

Observations:

✓ • At the time of the inspection, the Inspector observed no deficiencies in the condition and operation of the built-in microwave oven. Built-in microwave ovens are tested using normal operating controls. Unit was tested and appeared to be serviceable at time of inspection. Leak and/or efficiency testing is beyond the scope of this inspection. If concerned, you should seek further evaluation by qualified technician prior to closing.

12. Floor Condition

Materials: Ceramic tile is noted.

Observations:

✓ • At the time of the inspection, the Inspector observed no deficiencies in the condition of the floor in the kitchen.

13. Wall Condition

Materials: Drywall walls noted.

Observations:

✓ • At the time of the inspection, the Inspector observed no deficiencies in the condition of kitchen walls.

Kitchen (continued)

14. Ceiling Condition

Materials: Drywall ceilings noted.



Observations: At the time of the inspection, the Inspector observed no deficiencies in the condition of the kitchen ceiling.

15. Window Condition

Materials: Vinyl framed sliding window noted.

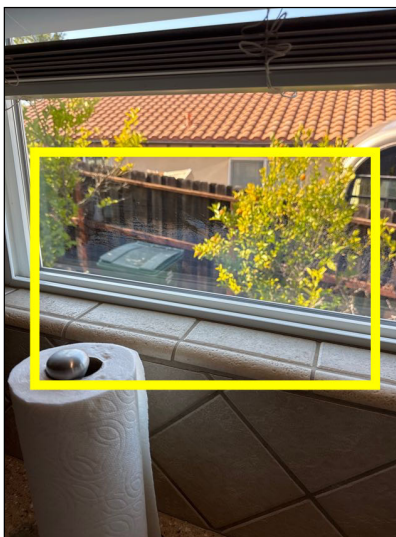


Observations:

-GENERAL CONDITION

The Inspector observed few deficiencies in the interior condition and operation of windows. Notable exceptions are listed.

Although no condensation was visible at the time of the inspection, staining and etching of the glass at a window indicated a loss of thermal integrity. Etching of the glass from long-term exposure to condensation constitutes permanent damage. The Inspector recommends that before the expiration of your Inspection Objection Deadline you consult with a qualified contractor to discuss options and costs for replacement.



Staining and etching of the glass at the window indicated a loss of thermal integrity.



Laundry

Inspection of the laundry room typically includes examination of the following:

- switches and outlets (120-volt and 240-volt if installed)
- exhaust fan;
- dryer vent;
- presence of clothes washer connections and waste pipe;
- sink, faucet, drain, and undersink plumbing;
- cabinets;
- floor, wall and ceiling surfaces; and

Laundry (continued)

- door and window condition and operation.

Note: Clothes washers are operated at the discretion of the Inspector.

1. Locations

Locations: East Laundry room • **Disclosure:** The washers and/or dryers are not tested or inspected as they are considered personal property and are not a permanently installed appliance. If the washer/dryer are being transferred as part of the sales transaction, the Inspector recommends that before the expiration of your Inspection Objection Deadline you consult with a qualified contractor to inspected for proper operation.

2. Washing Machine Supply

Observations:

- ✓ • At the time of the inspection, the Inspector observed no deficiencies in the condition and operation of washing machine supply plumbing in the laundry room.

3. Electrical

Observations: At the time of the inspection, the Inspector observed no deficiencies in the condition of electrical receptacles in the laundry room.

4. GFCI

Observations: Electrical receptacles in the laundry room had ground fault circuit interrupter (GFCI) protection that responded to testing in a satisfactory manner at the time of the inspection. The inspector tested a representative number of accessible receptacles only.

5. Light Fixture Condition

Observations:

- ✓ • At the time of the inspection, the Inspector observed no deficiencies in the condition or operation of the light fixture.

6. Dryer Vent

Observations:

✓ -VENT CONDITION

A dryer exhaust duct connection was installed in the laundry room. A visual examination will not detect the presence of lint accumulated inside the vent, which is a potential fire hazard. The Inspector recommends that you have the dryer duct cleaned at the time of purchase and annually in the future to help ensure that safe conditions exist. Lint accumulation can occur even in approved, properly installed exhaust duct. All work should be performed by a qualified contractor.

At the time of the inspection, the Inspector observed no deficiencies in the condition of the dryer exhaust duct.

7. Gas Valves

Observations:

- ✓ • At the time of the inspection, the Inspector observed no deficiencies in the condition of the gas shut off valve or visible gas supply pipes. The valve was not operated.

Laundry (continued)

8. Exhaust Fan

Observations:



- The laundry room exhaust fan was excessively noisy at the time of the inspection and may need to be replaced soon. All work should be performed by a qualified contractor.

9. Cabinets/Counters

Observations:



-CABINET CONDITION

At the time of the inspection, the Inspector observed no deficiencies in the condition of the laundry room cabinets.

-COUNTER MATERIAL

Solid Surface tops noted.

-COUNTER CONDITION

At the time of the inspection, the Inspector observed no deficiencies in the condition of the laundry room countertops.

10. Floor Condition

Materials: Ceramic tile is noted.



Observations:

- At the time of the inspection, the Inspector observed no deficiencies in the condition of floors in the laundry area.

11. Wall Condition

Materials: Drywall walls noted.



Observations:

- Although some areas not accessible due to stored personal items or appliances at the time of the inspection, the Inspector observed no deficiencies in the condition of the visible walls in the laundry room.

12. Ceiling Condition

Materials: Drywall ceilings noted.



Observations:

- At the time of the inspection, the Inspector observed no deficiencies in the condition of this laundry room ceiling.

13. Doors

Observations:



- At the time of the inspection, the Inspector observed no deficiencies in the condition of interior doors in the laundry room.



Bathroom #1

Inspection of the bathrooms typically includes the following:

- walls, floors and ceiling;
- sink (basin, faucet, overflow);
- cabinets (exteriors, doors, drawers, undersink);
- shower/tub (valves, showerhead, walls, enclosure);
- electrical (outlets, lighting); and
- room ventilation

1. Locations

Locations: Main Floor Bathroom

2. Sinks

Observations:

✓ -SINK CONDITION

At the time of the inspection, the Inspector observed no deficiencies in the condition and operation of the bathroom sink.

-FAUCET

The bathroom sink faucet appeared to be in serviceable condition at the time of the inspection.

-SUPPLY PIPES

The supply pipes to the wash basin appeared to be in serviceable condition at the time of the inspection.

-DRAIN

The bathroom sink drain appeared to be in serviceable condition at the time of the inspection.

The bathroom sink had functional flow and functional drainage at the time of the inspection.

3. Toilets

Observations: The toilet in this bathroom was flushed and operated in a satisfactory manner.



Toilet flow rate is 1.28 gallons per minute "GPF" (meets current California's Title 20 Water Efficiency Standards)

In the bathroom, the toilet was loose at the floor and should be re-attached by a qualified plumbing contractor.



Bathroom #1 (continued)

4. Showers

Observations:



-SHOWER BASE

The shower base has no major system safety or function concerns noted at time of inspection.

-FLOW/DRAINAGE

The shower had functional flow and functional drainage at the time of the inspection.

-SHOWER FAUCET

The shower faucet appeared to be in serviceable condition at the time of the inspection.

-SHOWER DOORS

A tempered glass enclosure is noted.

No major system safety or function concerns noted at time of inspection.

5. Shower Wall

Materials: Ceramic tile noted.



Observations:

- The shower walls has no major system safety or function concerns noted at time of inspection.

6. Bath Tubs

Observations:



-GENERAL CONDITION

The Inspector observed no deficiencies in the condition of bathtub components.

-TUB DRAIN

The tub had functional flow and functional drainage.

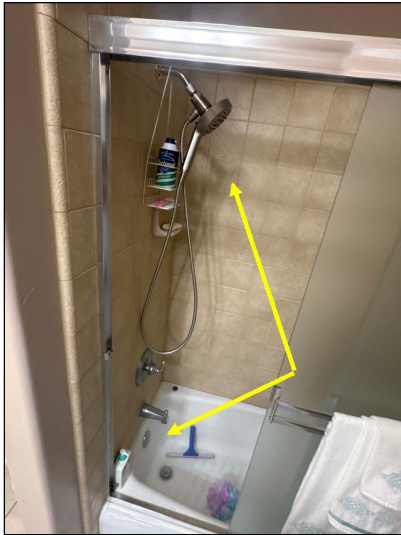
-SEALANT

Sealant where the tub meets the wall was old and had sections of missing sealant which may allow damage from moisture intrusion of the wall assembly. The Inspector recommends correction by a qualified contractor.

-FAUCET

The diverter valve was leaking during operation or did not operate correctly (the diverter is the valve which diverts water from the tub faucet to the shower head). At the time of inspection water continued to flow from the tub spout when the shower was on. This is most commonly caused by a deteriorated diverter valve seal in the tub spout. The Inspector recommends maintenance/repair be performed by a qualified contractor.

Bathroom #1 (continued)



The diverter valve was leaking during operation or did not operate correctly (the diverter is the valve which diverts water from the tub faucet to the shower head).

Sealant where the tub meets the wall was old and had sections of missing sealant

7. Electrical

Observations: At the time of the inspection, the Inspector observed no deficiencies in the condition of electrical receptacles in this bathroom.



8. GFCI

Observations: Electrical receptacles in this bathroom had ground fault circuit interrupter (GFCI) protection that responded to testing in a satisfactory manner. The inspector tested a representative number of accessible receptacles only.



9. Light Fixture Condition

Observations:

- At the time of the inspection, the Inspector observed no deficiencies in the condition or operation of the light fixture.



10. Exhaust Fan

Observations:

- This bathroom had an operable bath fan for ventilation at the time of the inspection.



11. Doors

Observations:

- At the time of the inspection, the Inspector observed no deficiencies in the condition of interior doors in this bathroom.



12. Window Condition

Observations: None.



Bathroom #1 (continued)

13. Floor Condition

Materials: Ceramic tile is noted.



Observations:

- At the time of the inspection, the Inspector observed no deficiencies in the condition of the floor in this bathroom.

14. Wall Condition

Materials: Drywall walls noted.



Observations:

- At the time of the inspection, the Inspector observed no deficiencies in the condition of the walls in this bathroom.

15. Ceiling Condition

Materials: Drywall ceilings noted.



Observations:

- At the time of the inspection, the Inspector observed no deficiencies in the condition of this bathroom ceiling.

16. Counter condition

Materials: Solid Surface tops noted.



Observations:

- The countertops in this bathroom appeared to be in serviceable condition at the time of the inspection.

17. Cabinets

Observations:



-GENERAL CONDITION

- At the time of the inspection, the Inspector observed no deficiencies in the condition of the bathroom cabinets.

18. Mirrors

Observations:



- No deficiencies observed.

19. Heating

Observations:



- Central heating and cooling noted in this room. At the time of the inspection, all appeared to be functioning and in serviceable condition.



Bathroom #2

1. Locations

Locations: Primary Bathroom

2. Sinks

Observations:



-SINK CONDITION

At the time of the inspection, the Inspector observed no deficiencies in the condition and operation of the bathroom sink's.

-FAUCET

The bathroom sink faucet appeared to be in serviceable condition at the time of the inspection.

The sink in this bathroom had a loose faucet handle.

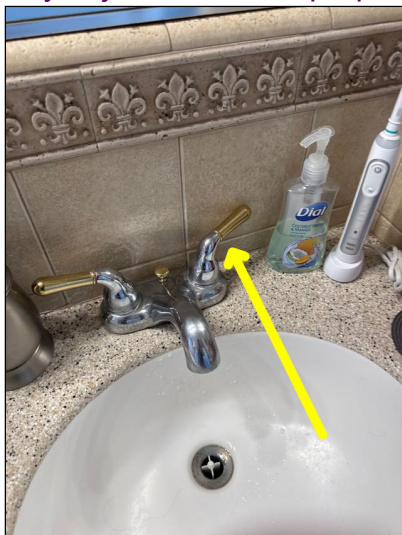
-SUPPLY PIPES

The supply pipes to the wash basin appeared to be in serviceable condition at the time of the inspection.

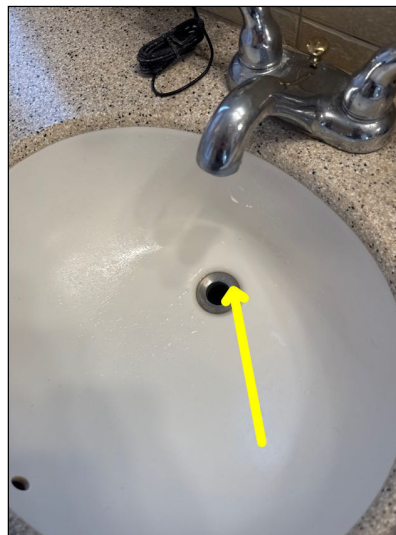
-DRAIN

The bathroom sink had functional flow and functional drainage at the time of the inspection.

Maintenance Needed: Pop up drain assembly is inoperable. Recommend having pop up assembly adjusted to work properly.

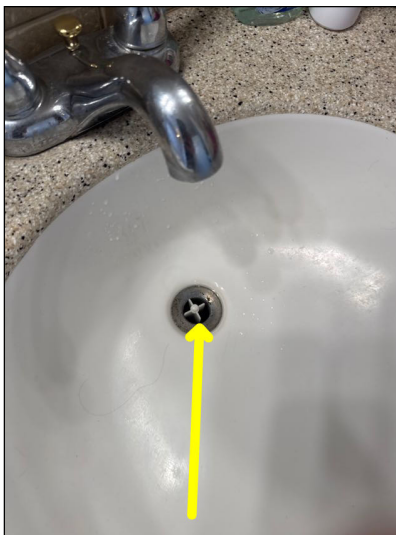


The sink in this bathroom had a loose faucet handle.



Maintenance Needed: Pop up drain assembly is inoperable. Recommend having pop up assembly adjusted to work properly.

Bathroom #2 (continued)



Maintenance Needed: Pop up drain assembly is inoperable. Recommend having pop up assembly adjusted to work properly.

3. Toilets

Observations: The toilet in this bathroom was flushed and operated in a satisfactory manner.

- ✓ Toilet flow rate is 1.28 gallons per minute "GPF" (meets current California's Title 20 Water Efficiency Standards)

4. Showers

Observations:

- ✓ **-SHOWER BASE**
The shower base has no major system safety or function concerns noted at time of inspection.
- FLOW/DRAINAGE**
The shower had functional flow and functional drainage at the time of the inspection.
- SHOWER FAUCET**
The shower faucet appeared to be in serviceable condition at the time of the inspection.
- SHOWER DOORS**
A tempered glass enclosure is noted.
No major system safety or function concerns noted at time of inspection.

5. Shower Wall

Materials: Ceramic tile noted.

- ✓ **Observations:**
 - The shower walls has no major system safety or function concerns noted at time of inspection.

6. Bath Tubs

Observations:

- ✓ **-GENERAL CONDITION**
The Inspector observed no deficiencies in the condition of bathtub components.
- FAUCET**
The tub faucet appeared to be in serviceable condition at the time of the inspection.
- TUB DRAIN**
The tub had functional flow and functional drainage.

Bathroom #2 (continued)

7. Electrical

Observations: At the time of the inspection, the Inspector observed no deficiencies in the condition of electrical receptacles in this bathroom.



8. GFCI

Observations: Electrical receptacles in this bathroom had ground fault circuit interrupter (GFCI) protection that responded to testing in a satisfactory manner. The inspector tested a representative number of accessible receptacles only.



9. Light Fixture Condition

Observations:

• At the time of the inspection, the Inspector observed no deficiencies in the condition or operation of the light fixture.



10. Exhaust Fan

Observations:

• This bathroom had an operable bath fan for ventilation at the time of the inspection.



11. Doors

Observations:

• At the time of the inspection, the Inspector observed no deficiencies in the condition of interior doors in this bathroom.



12. Window Condition

Materials: Glass blocks noted in window openings.

Observations:

-GENERAL CONDITION

The Inspector observed no deficiencies in the interior condition and operation of windows.



13. Floor Condition

Materials: Ceramic tile is noted.

Observations:

• The Inspector observed few deficiencies in the condition of floors. Notable exceptions are listed.

• This bathroom had cracked floor tiles. You should ask the seller if spare tiles are available as matching replacements. The Inspector recommends that before the expiration of your Inspection Objection Deadline you consult with a qualified contractor to discuss options and costs for replacement.



Bathroom #2 (continued)



14. Wall Condition

Materials: Drywall walls noted.



Observations:

- At the time of the inspection, the Inspector observed no deficiencies in the condition of the walls in this bathroom.

15. Ceiling Condition

Materials: Drywall ceilings noted.



Observations:

- At the time of the inspection, the Inspector observed no deficiencies in the condition of this bathroom ceiling.

16. Counter condition

Materials: Solid Surface tops noted.



Observations:

- The countertops in this bathroom appeared to be in serviceable condition at the time of the inspection.

17. Cabinets

Observations:



-GENERAL CONDITION

- At the time of the inspection, the Inspector observed no deficiencies in the condition of the bathroom cabinets.

18. Mirrors

Observations:



- No deficiencies observed.

19. Heating

Observations:



- Central heating and cooling noted in this room. At the time of the inspection, all appeared to be functioning and in serviceable condition.




Bedroom #1


1. Locations

Locations: South West


2. Electrical

-  **Observations:** Although some outlets were not accessible due to stored personal items in the way at the time of the inspection, the Inspector observed no deficiencies in the condition of electrical receptacles. In accordance with the Standards of Practice, the inspector tested a representative number of accessible outlets only.


3. Smoke Detectors

- Observations:**
-  • Smoke detector placement appeared to be adequate and operated during the inspection.


4. Floor Condition

- Flooring Types:** Carpet is noted.
-  **Observations:**
- At the time of the inspection, the Inspector observed no deficiencies in the condition of floors in this bedroom.

5. Wall Condition

- Materials:** Drywall walls noted.
-  **Observations:**
- Although some areas not accessible due to stored personal items at the time of the inspection, the Inspector observed no deficiencies in the condition of the visible walls in this bedroom.

6. Ceiling Condition

- Materials:** Drywall ceilings noted.
-  **Observations:**
- The bedroom ceiling appeared to be in serviceable condition at the time of the inspection.

7. Ceiling Fans

- Observations:**
- None present.



Bedroom #1 (continued)

8. Light Fixture Condition

Observations:

- ✓ • At the time of the inspection, the Inspector observed no deficiencies in the condition or operation of the light fixture.

9. Closets

Observations:

- ✓ • The closet is in serviceable condition.

10. Doors

Observations:

- ✓ • At the time of the inspection, the Inspector observed no deficiencies in the condition of interior doors in this bedroom.

11. Window Condition

Materials: Vinyl framed single hung window noted.

Observations:

- ✓ **-GENERAL CONDITION**

The Inspector observed no deficiencies in the interior condition and operation of windows.



Bedroom #2

1. Locations

Locations: South East

2. Electrical

- ✓ **Observations:** Although some outlets were not accessible due to stored personal items in the way at the time of the inspection, the Inspector observed no deficiencies in the condition of electrical receptacles. In accordance with the Standards of Practice, the inspector tested a representative number of accessible outlets only.

3. Smoke Detectors

Observations:

- ✓ • Smoke detector placement appeared to be adequate and operated during the inspection.

Bedroom #2 (continued)

4. Floor Condition

Flooring Types: Carpet is noted.



Observations:

- At the time of the inspection, the Inspector observed no deficiencies in the condition of floors in this bedroom.

5. Wall Condition

Materials: Drywall walls noted.



Observations:

- Although some areas not accessible due to stored personal items at the time of the inspection, the Inspector observed no deficiencies in the condition of the visible walls in this bedroom.

6. Ceiling Condition

Materials: Drywall ceilings noted.



Observations:

- The bedroom ceiling appeared to be in serviceable condition at the time of the inspection.

7. Ceiling Fans

Observations:



- All ceiling fans in the home were operable and appeared to be in serviceable condition at the time of the inspection.

8. Light Fixture Condition

Observations:



- At the time of the inspection, the Inspector observed no deficiencies in the condition or operation of the light fixture.

9. Closets

Observations:



- The closet is in serviceable condition.

10. Doors

Observations:



- At the time of the inspection, the Inspector observed no deficiencies in the condition of interior doors in this bedroom.

11. Window Condition

Materials: Vinyl framed sliding window noted.



Observations:

-GENERAL CONDITION

The Inspector observed few deficiencies in the interior condition and operation of windows. Notable exceptions are listed.

Although no condensation was visible at the time of the inspection, staining and etching of the glass at a window indicated a loss of thermal integrity. Etching of the glass from long-term exposure to condensation constitutes permanent damage. The Inspector recommends that before the expiration of your Inspection Objection Deadline you consult with a qualified contractor to discuss options and costs for replacement.

Bedroom #2 (continued)



Staining and etching of the glass at the window indicated a loss of thermal integrity.




Bedroom #3


1. Locations

Locations: Primary

2. Electrical

 **Observations:** Although some outlets were not accessible due to stored personal items in the way at the time of the inspection, the Inspector observed no deficiencies in the condition of electrical receptacles. In accordance with the Standards of Practice, the inspector tested a representative number of accessible outlets only.


3. Smoke Detectors

 **Observations:**

- Smoke detector placement appeared to be adequate and operated during the inspection.

4. Floor Condition

Flooring Types: Carpet is noted.

 **Observations:**

- At the time of the inspection, the Inspector observed no deficiencies in the condition of floors in this bedroom.

Bedroom #3 (continued)

5. Wall Condition

Materials: Drywall walls noted.



Observations:

- Although some areas not accessible due to stored personal items at the time of the inspection, the Inspector observed no deficiencies in the condition of the visible walls in this bedroom.

6. Ceiling Condition

Materials: Drywall ceilings noted.



Observations:

- The bedroom ceiling appeared to be in serviceable condition at the time of the inspection.

7. Ceiling Fans

Observations:



- All ceiling fans in the home were operable and appeared to be in serviceable condition at the time of the inspection.

8. Light Fixture Condition

Observations:



- At the time of the inspection, the Inspector observed no deficiencies in the condition or operation of the light fixture.

9. Closets

Observations:



- The closet is in serviceable condition.

10. Doors

Observations:



- At the time of the inspection, the Inspector observed no deficiencies in the condition of interior doors in this bedroom.

11. Window Condition

Materials: Vinyl framed single hung window noted.



Observations:

-GENERAL CONDITION

The Inspector observed no deficiencies in the interior condition and operation of windows.

12. Patio Doors

Observations:



-GENERAL CONDITION -SLIDER DOOR

- The Inspector observed no deficiencies in the condition of the sliding glass doors.

13. Screen Doors

Observations:



- Sliding door screen present.
- The Inspector observed no deficiencies in the condition of the screen doors.




Office


1. Locations

Locations: South West


2. Electrical

-  **Observations:** Although some outlets were not accessible due to stored personal items in the way at the time of the inspection, the Inspector observed no deficiencies in the condition of electrical receptacles. In accordance with the Standards of Practice, the inspector tested a representative number of accessible outlets only.


3. Smoke Detectors

- Observations:**
-  • Smoke detector placement appeared to be adequate and operated during the inspection.


4. Floor Condition

- Flooring Types:** Carpet is noted.
-  **Observations:**
- At the time of the inspection, the Inspector observed no deficiencies in the condition of floors in this bedroom.


5. Wall Condition

- Materials:** Drywall walls noted.
-  **Observations:**
- Although some areas not accessible due to stored personal items at the time of the inspection, the Inspector observed no deficiencies in the condition of the visible walls in this bedroom.

6. Ceiling Condition

- Materials:** Drywall ceilings noted.
-  **Observations:**
- The bedroom ceiling appeared to be in serviceable condition at the time of the inspection.

7. Ceiling Fans

- Observations:**
-  • All ceiling fans in the home were operable and appeared to be in serviceable condition at the time of the inspection.

Office (continued)

8. Light Fixture Condition

Observations:

- ✓ • At the time of the inspection, the Inspector observed no deficiencies in the condition or operation of the light fixture.

9. Doors

Observations:

- ✓ • At the time of the inspection, the Inspector observed no deficiencies in the condition of interior doors in this bedroom.

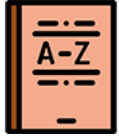
10. Window Condition

Materials: Vinyl framed sliding window noted. • Vinyl framed single hung window noted.

Observations:

- ✓ **-GENERAL CONDITION**

The Inspector observed no deficiencies in the interior condition and operation of windows.



Glossary

Term	Definition
A/C	Abbreviation for air conditioner and air conditioning
ABS	Acronym for acrylonitrile butadiene styrene; rigid black plastic pipe used only for drain lines.
Cellulose	Cellulose insulation: Ground-up newspaper that is treated with fire-retardant.
Combustion Air	The ductwork installed to bring fresh outside air to the furnace and/or hot water heater. Normally, two separate supplies of air are brought in: one high and one low.
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.
PVC	Polyvinyl chloride, which is used in the manufacture of white plastic pipe typically used for water supply lines.
TPR Valve	The thermostat in a water heater shuts off the heating source when the set temperature is reached. If the thermostat fails, the water heater could have a continuous rise in temperature and pressure (from expansion of the water). The temperature and pressure could continue to rise until the pressure exceeds the pressure capacity of the tank (300 psi). If this should happen, the super-heated water would boil and expand with explosive force, and the tank would burst. The super-heated water turns to steam and turns the water heater into an unguided missile. To prevent these catastrophic failures, water heaters are required to be protected for both excess temperature and pressure. Usually, the means of protection is a combination temperature- and pressure-relief valve (variously abbreviated as T&P, TPV, TPR, etc.). Most of these devices are set to operate at a water temperature above 200° F and/or a pressure above 150 psi. Do not attempt to test the TPR valve yourself! Most water heating systems should be serviced once a year as a part of an annual preventive maintenance inspection by a professional heating and cooling contractor. From Plumbing: Water Heater TPR Valves
Valley Flashing	Sheet metal or other material used to line a valley in a roof to direct rainwater down into the gutter system.