

Professional

Inspection Services

Inspection Report



CERTIFIED FIREPLACE AND CHIMNEY INSPECTOR



Address: 46 Via Santa Barbara Paso Robles, CA 93446

01/15/2026

Inspector: Keith Vreeken, MCI, FCI
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MASTER INSPECTOR / State Board Member, CALIFORNIA REAL ESTATE INSPECTION ASSOCIATION

Please take the time to review the entire report carefully and completely. If there is anything you would like us to explain, or if there are any questions you have, please feel free to call us. We would be happy to answer any questions you may have.

IMPORTANT: All repairs should be completed or supervised by a licensed contractors. Example;
All plumbing repairs should be done by a licensed plumbing contractor.
All electrical repairs should be done by a licensed electrical contractor.
All heating and/or cooling system repairs should be done by a licensed HVAC contractor.
All roof repairs should be done by a licensed roofing contractor, etc.

This inspection is performed for the client of a property to provide a general, overall report of the conditions as they existed at the time of the inspection. This report focuses on the 6 major systems, which include: **Structural Integrity, Roof, Electrical Systems, Plumbing System, Heating and Cooling Systems and the Fireplaces and Chimneys.** Cosmetic conditions are outside the scope of this inspection and may not be included or reported on as part of a home inspection.

Notice: It is important that the Client follow all recommendations as stated in this report to help prevent damage, deterioration and to help ensure a safe and healthy building. The inspector can not be held liable if all recommendations are not followed completely.

Throughout the report, you'll find special symbols at the front of certain comments. Below are the symbols and their meanings:

E&C = Evaluation and Corrections Needed: This issue is a potentially serious concern and should be addressed. Recommend further review and repair by a qualified and licensed professional.

SC = Safety Concern: Dangerous conditions exist that should be corrected immediately for safety. Recommend further review and repairs by a qualified and licensed professional.

FI = Further Investigation is Needed: Client should have an appropriate licensed specialist investigate further until satisfied as to the cause, current conditions, potential future issues and correct as needed.

MR = Maintenance Recommended or Needed: Contact a qualified professional to service this system or component to help prevent future issues and ensure proper working order.

SU = Safety Upgrades: Safety upgrades are recommended, but may not necessarily be required. Contact a qualified professional for additional information.

UPG = Upgrade: Upgrades are recommended or needed by a qualified professional to help improve and maintain the overall performance and/or integrity of the system or component.

DS = Disclosure: This item should be monitored, as future attention, repair or upgrades might be needed. Contact a specialist for additional information and recommendations.

Be advised that, if the building was furnished at the time of the inspection, many areas were not visible or accessible. Therefore, the conditions in these areas could not be determined fully and warrant additional review once the building is vacant. Be aware that some defects, such as water intrusion or leaks that do not visibly show themselves at the time of this inspection, cannot be detected and may only arise after a building has been occupied for a time. A full re-inspection by us is warranted once the building is vacant.

Comments made within this report that are outside the scope of a standard inspection or the CREIA standards are informational only and at the discretion of the inspector. These comments do not in anyway constitute a full or complete inspection or evaluation of that specific system or component.

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General Information

NOTICE: This report contains technical information. If you were not present during the inspection, please contact this office to arrange for a phone consultation with your inspector. If you choose not to consult the inspector, this inspection company and inspector cannot be held liable for your misinterpretation or misunderstanding of this report's contents.

It is the responsibility of the client to check with local building departments for permit information during all real estate transactions.

NOTE: All warranties and liability protection for the client from this inspection applies only to the parties written on the signed contract and is not transferable to any third party without a new signed contract. If you acquired this inspection and are not the contracted party you are required to contact Professional Inspection Services to request for a reduced fee a new contract or forfeit any future liability claims.

IMPORTANT NOTIFICATION (Clients responsibility): Be aware that any defect comment within this report may only identify a portion of a overall condition. **Example:** A crack or movement in the foundation noted on the South side of the home, or a defective outlet found in the dining area. It is the responsibility of the client to have the appropriate licensed professional to review the entire system, and not only the specific noted defect. Such as per our example, the engineer or contractor shall review the entire foundation systems not only the specific area noted in the report to ensure that additional movement or settling is not occurring in other areas which are not directly identified in the report. Also per the example, the electrical contractor shall review all electrical outlets not just the defective outlet noted in the report to determine if additional defects in the electrical system needs repairing. Additional defects may be discovered during the additional review of the entire system by the appropriate licensed professional.

Hidden Defects: A latent, hidden or concealed defect is one which could not be readily discovered by reasonable, customary and non-invasive visual observation during the inspection. These defects might have been painted over, inside walls, buried under insulation, covered or blocked with furniture and other belongings, or tucked away in hard-to-reach spaces with limited access which require dismantling or the use of special equipment or tools or in areas that the home inspector dreamed unsafe to enter. Defects that are discovered which have been concealed, hidden, or covered up by home owners, etc., are outside the scope of this inspection. Considering home inspections are only visual and non-invasive in scope, the inspector is not required to use x-ray vision or ESP to find hidden or concealed defects and is not responsible or liable if discovered after the close of escrow during remodels, during different weather patterns which were not encountered during the inspection or when the occupant's belongings or flooring have been removed, even if they appear days, months or even years after the move in. If the home is occupied during the inspection, the client shall have the inspector revisit the property, for an additional fee, to inspect areas of the property which were not visible or accessible at the time of the original inspection due to occupant's belongings once the home is vacant and prior to the close of escrow. Failure to do so will void any inspector liability for discovered defects which fall within the standards in areas that were blocked during the original inspection by the occupant's belongings.

WEATHER CONDITIONS

- 1: Approx. Temperature: 65°F
- 2: Dry Today

FOR THE PURPOSES OF THIS INSPECTION, THE BUILDING FACES

- 3: FRONT DOOR faces: North

INSPECTION DATE
Thursday, January 15, 2026

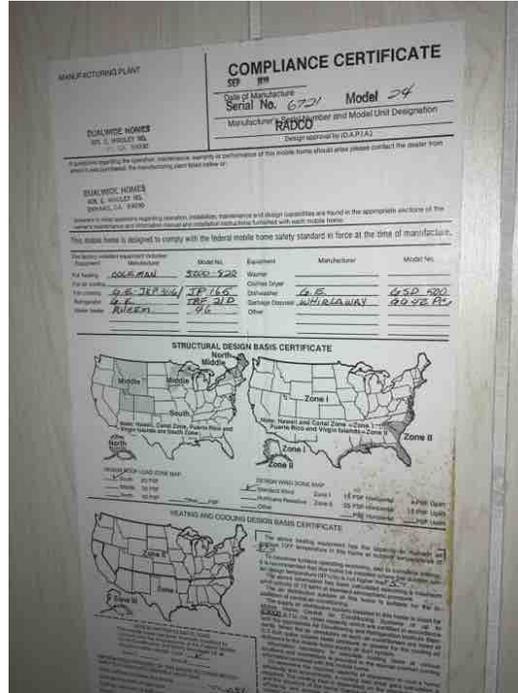
START TIME
12:30 pm

FINISH TIME ON-SITE
3:00 pm

INSPECTOR
5: Keith Vreeken, MCI

PROPERTY TYPE

6: Manufactured Home



7: With Detached Garage



INSPECTION TYPE

8: Pre-Sale Listing Inspection : This inspection is performed for the seller of a property to provide a general, overall report of the conditions as they existed at the time of the inspection. This report focuses on the 6 major systems, which include: **Structural Integrity, Roof, Electrical Systems, Plumbing Systems, Heating and Cooling,** and the **Fireplaces and Chimneys**. Cosmetic conditions are not reported on as part of a home inspection. This report, which can be given to a prospective buyer, is informational only and may not include recent repairs completed after the inspection was performed, nor conditions which may have surfaced since this inspection was completed. A prospective buyer relying on this report and the original contract, provided by the seller, is required to contact Professional Inspection Services for a report review and to sign a new contract. **Any Buyer who receives this report is required for a fee to sign a new contract and pay for an on-site report review to prevent any misinterpretation of the report findings. Any failure of this requirement releases Professional Inspection Services and its inspectors from any and all liability from the buyer without exception.**

YEAR/ OCCUPANCY STATUS

9: Approx. Year Built: 1978

10: Vacant.

PRESENT DURING THE INSPECTION

11: Seller's Agent

Grounds

DRIVEWAY TYPE

12: Concrete Driveway

DRIVEWAY COMMENTS

13: Driveway appears serviceable.

14: Typical & common cracks found in areas of the driveway.

SIDEWALK / WALKWAY TYPE

15: Concrete Walkways

SIDEWALK / WALKWAY COMMENTS

16: Walkways appear serviceable

17: Some typical and common cracks found at areas of the walkways.

SU 18: Areas of the walkways are uneven with potential trip hazards.



Example

UPG DS 19: **Disclosure**: Areas of suspected poor drainage with evidence of minor ponding of water at the walkway(s).



Example

PATIO / PORCH COVERS

20: FRONT ENTRY AWNING: Appears serviceable and in good condition.



21: BACKYARD WRAP AROUND / AWNING: Appears serviceable and in good condition.



22: AWNING OF THE BACK OF THE GARAGE: Appears serviceable and in good condition.



DS 23: Awning roof systems are originally designed only as a shade cover and may not have a complete waterproof roof system.

MR 24: Debris has collected on portions of the Aluminum Awnings. Maintenance recommended



Example

Exterior

Any comments as to water intrusion are not intended to be technically exhaustive per CREIA standards. If some water intrusion is evident it is recommended to have all areas of potential water intrusion evaluated by a qualified water intrusion specialist. This is a visual, non-destructive inspection.

Disclosure: Wall insulation type & value not determined. Conditions inside walls cannot be judged.

STRUCTURE TYPE

25: Wood Framed

EXTERIOR WALL COVERINGS

26: Wood Siding

27: Brick Veneer

EXTERIOR WALL COMMENTS

28: Exterior walls appear in good condition

DS 29: Disclosure: Wall insulation type & value not determined. Conditions inside walls cannot be judged.

VENEERS

FI **MR** **DS** 30: Some visible cracking and separations noted in areas of the exterior brick veneer. Example - On the southeast corner near the air conditioner condenser.



Example

EXTERIOR GENERAL

SU 31: Disclosure: Evidence of bird and/or bat type nesting on areas of the exterior and/or roof. Contact a qualified pest control company to evaluate and make recommendations if concerned.

EXTERIOR TRIM

32: TRIM TYPE: Wood

E&C 33: Some moisture and/or bug type damage & deterioration found at exterior areas such as eaves, fascia and/or trim. Refer to the termite report for locations and extent.



Example

MR 34: Caulking is needed at all exterior trim areas such as doors, windows, fascia, etc.

MR 35: Deteriorated paint or finish at areas of the exterior.

SPRINKLERS

36: *Disclosure: Sprinkler systems are outside the scope of this inspection and not tested or inspected. Comments made below are informational only and at the discretion of the inspector. The comments below do not in any way constitute a full inspection of the sprinklers or landscape watering systems. If concerned have system evaluated by landscape professional.*

MR 37: Recommend freeze protection at exposed sprinkler valves and/or pipes.

Exterior Stairs

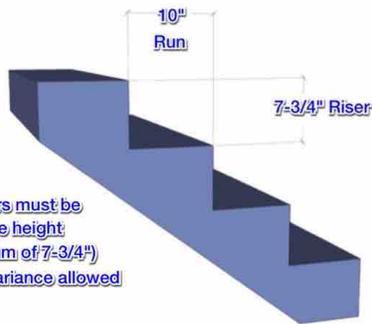
Exterior stairway # 1

EXTERIOR STAIRS

38: Type: Masonry: OFF THE BACKYARD WOOD DECK



SC 39: Caution. The top step is taller than the rest. Uneven step tread rise, step heights are not all the same, at the exterior stairway off the OFF THE BACKYARD WOOD DECK. Potential trip or fall hazard.



Top step is taller than all the rest

EXTERIOR STAIRWAY RAILINGS

40: The exterior stairway graspable handrail and guardrails are serviceable and in good condition.

Exterior Stairway # 2

EXTERIOR STAIRS

41: Type: Masonry: OFF THE FRONT ENTRY



42: Exterior stairs are serviceable and in good condition.

EXTERIOR STAIRWAY RAILINGS

43: The exterior stairway graspable handrail and guardrails are serviceable and in good condition.

Exterior Stairway # 3

EXTERIOR STAIRS

44: **Type:** Wood exterior stairway: OFF THE BACK ENCLOSED DECK / CASITA



45: Exterior stairs are serviceable and in good condition.

EXTERIOR STAIRWAY RAILINGS

46: The exterior stairway graspable handrail and guardrails are serviceable and in good condition.

Decks

Deck # 1

LOCATION & TYPE

47: **DECK LOCATION:** BACKYARD DECK

DECK TYPE: Wood Framed - EPI wood Planks

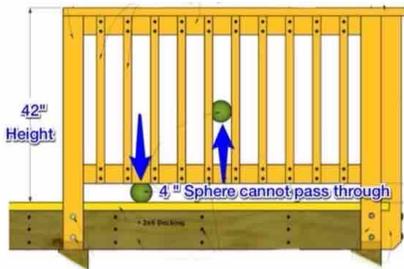


WOOD DECK COMMENTS

E&C 48: Some moisture and/or bug-type damage and deterioration found at areas of the wood decking and/or wood deck railings: BACKYARD WOOD DECK. *Refer to the termite report for additional comments and recommendations.*

DECK RAILING COMMENTS

SU 49: *Openings between spindles and the height of the deck railings at the BACKYARD DECK do not meet current standards. Upgrades Recommended for safety.*



Deck # 2

LOCATION & TYPE

50: DECK LOCATION: FRONT ENTRY DECK

DECK TYPE: Wood Framed - Synthetic Planks

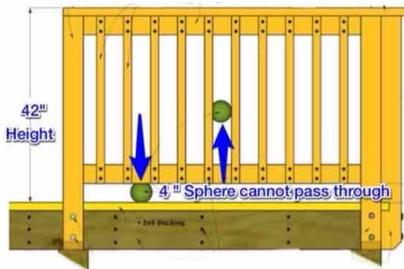


WOOD DECK COMMENTS

51: DECK CONDITION: *The FRONT ENTRY DECK appears within useful life. Refer to the termite report for additional comments and/or recommendations.*

DECK RAILING COMMENTS

SU 52: *Openings between spindles and the height of the deck railings at the FRONT ENTRY DECK do not meet current standards. Upgrades Recommended for safety.*



Grading

Geological conditions and site stability are outside the scope of this inspection. For further information contact a licensed civil engineer. Off-site water (i.e. street water, water from a neighboring property, or sub-surface water) influences onto this property are outside the scope of this inspection and are not addressed. If concerned, have evaluated by a licensed geotechnical engineer.

SITE SLOPE

53: Level to Minor Slope

COMMENTS

E&C 54: Recommend some proper landscape grading and maintenance along areas of the exterior. This should help ensure the proper flow of site water away from the building(s) and off the property. This will also help prevent an excessive moisture condition and help maintain the proper clearances from the interior floor level, and/or the exterior stucco, wood or other siding to the top of soil. Trim trees and bushes that are making contact with areas of the exterior siding, trim and/or roof.

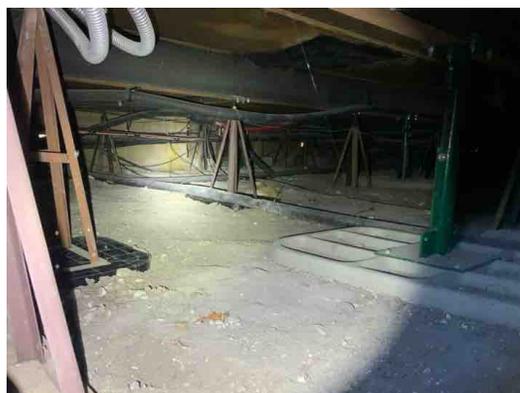
Foundation

Notice: No engineering of the foundation or any structural component is performed. Areas of the perimeter foundation are not visible. Some typical and common cracks noted in the perimeter foundation. Client is advised to monitor cracks to help determine if future movement or conditions occur.

FOUNDATION TYPE

DS 55: Raised Foundation with Crawlspace

Disclosure: Be aware that some crawlspaces may contain toxins from current or past animal or critter intrusion, molds, fungus or other issues arising from past moisture or water intrusion which may negatively affect the overall air quality within the crawlspace and living spaces. Determining the air quality inside the home and crawlspace is outside the scope of this inspection. All parties should perform their own due diligence until satisfied as to the air quality inside the living spaces.





MANUFACTURED HOME NOTES

56: Insulation (approx. 4-6 inches thick) and a vapor barrier are installed in the crawlspace.

Note: The crawlspace framing is not fully visible due to the insulation and vapor barrier. Conditions in areas that are not visible are unknown. Refer to the Termite report for additional comments and recommendations.

57: Manufactured Home appears to have a permanent type foundation installed. (check with local authority (County or City) for "433" verification).



VENTILATION

FI 58: The amount of ventilation provided for the crawlspace does not meet the minimum requirements per the minimum California standards [$V=1$ sf. for 150 sf. of crawlspace]. Recommend additional review and ventilation upgrades by a licensed contractor familiar with minimum installation requirements.

Note: The exact amount of crawlspace ventilation provided was not calculated and this opinion is based solely on a visual observation of the total amount of ventilation openings provided.

Roof

This inspection of the roof covering and components such as flashings and skylights is not intended to be technically exhaustive per CREIA standards. Meaning that if defects are found it is recommended to have the entire roof completely re-evaluated by a licensed roof contractor familiar with the current minimum installation requirements. Be aware that additional defects may be discovered during a more comprehensive evaluation by the licensed roofing professional. There should be no more than 2 layers of roofing on a building per standards.

ROOF STYLE

59: Gable - HOUSE



60: Gable - GARAGE



ROOF MATERIAL TYPE

61: Asphalt Shingle - HOUSE

Average life expectancy of this roof material: 30 years

There is Approx. 1-3 +/- years of visible wear

62: Metal - GARAGE

ASPHALT COMPOSITION SHINGLE COMMENTS

63: ROOF CONDITION: The Asphalt Composition roof material appears to be within its useful life and in good condition for its age.

However, this is not a warranty or guarantee that the roof does not leak or other future conditions might exist. This is only a physical inspection of the visible areas of the roof system.

METAL ROOF COMMENTS

64: ROOF CONDITION: The metal roof appears to be in good condition and within its useful life expectancy. However, this is not a warranty or guarantee that the roof does not leak or other future conditions might exist. This is only a visual inspection of the visible areas of the roof system.

Flashings

Roof flashings, transitions, and skylights are not water tested for leakage. This is a visual inspection of the roof and its components per CREIA standards. All roofs require continuous and ongoing maintenance. Recommend having the roof serviced regularly by a qualified professional. Contact a licensed roofing professional for recommendations.

ROOF FLASHING

MR 65: ROOF FLASHING CONDITION: Exposed and visible areas of the roof flashings appear serviceable and in good condition.

NOTE: All roof flashing should be inspected and resealed approximately every 3 to 5 years to help maintain water tightness.

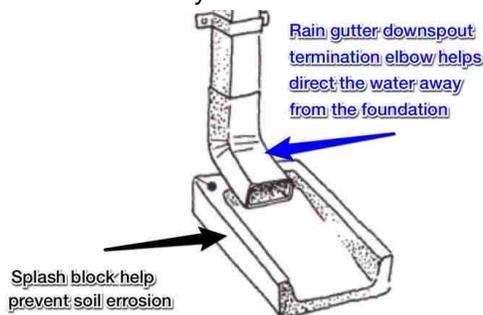
SKYLIGHTS

MR 66: Skylight(s) appears to be in good physical condition - *Skylights are not water tested, visual inspection only.*

Gutters

RAIN GUTTER COMMENTS

MR 67: Recommend splash blocks and diverting the rain gutter downspouts at the bottom to assist in proper flow of roof water away from the house and to help prevent soil erosion where not installed.



Example

Attic

Areas of the attic framing, drywall, electrical, plumbing, etc., are not fully visible or accessible due to the attic insulation and the areas of the attic that are too small for safe access. Refer to the Termite Report for additional comments and recommendations.

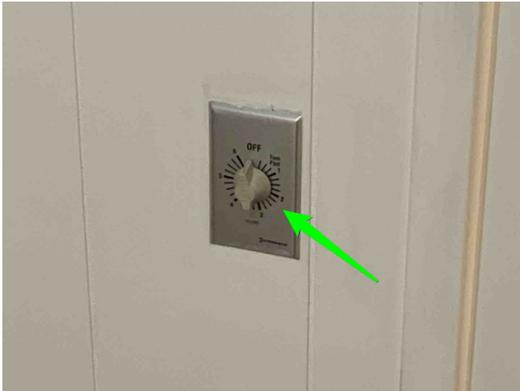
ATTIC ACCESS LOCATION

68: ATTIC VENTING: Appears Adequate. However, attic ventilation was not calculated but visually observed.

DS 69: Disclosure: No accessible attic required or provided in this type of home.

ATTIC & WHOLE HOUSE VENTILATION

70: The ATTIC fan operated when tested.



Attic fan switch operated wind tested



Attic fan switch operated wind tested



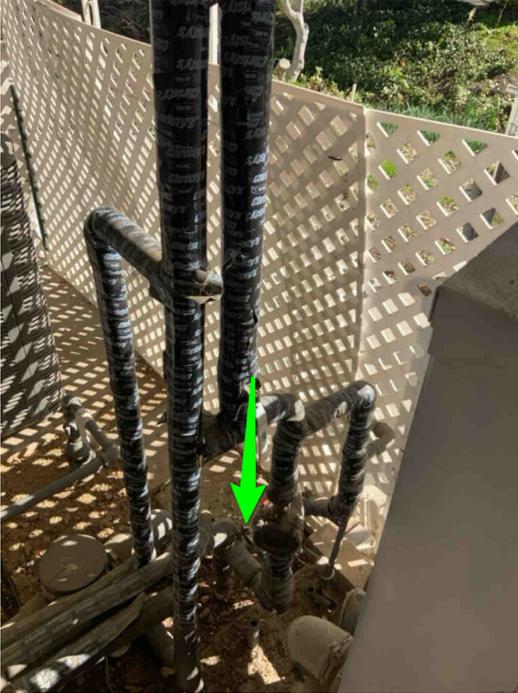
attic fan

Plumbing

This inspection of the water supply system, waste system and its fixtures and components is not intended to be technically exhaustive per CREIA standards, meaning that if a specific system or component is found to have a single defect it is recommended to have the entire system and its components evaluated by a qualified plumbing professional. Be aware that additional defects may be discovered during a more specific or directed evaluation by a licensed plumbing contractor.

MAIN WATER SUPPLY

71: Main water supply shut-off location: ON THE BACK OF THE HOUSE. *Main water shut-off valve not tested.*



Main water shut off valve

72: **WATER PRESSURE - Is Within Standards:** At Approx. 60 +/- PSI . *Optimal water pressure is between 40 and 80 PSI.*



TYPE OF WATER PIPING

73: Type(s) of water supply piping that could be seen at the time of the inspection (other plumbing materials may be present but were not discovered at this time):

74: Copper

75: PEX Plastic

WATER SUPPLY PIPING

76: The visible areas of the water supply piping appears to be within useful life. *Pipes are not fully visible.*

77: **Disclosure:** *Pipe conditions inside walls, under insulation in the attic, underground or under the slab, and all inaccessible areas which are not readily accessible and visible are not inspected. Connections and conditions cannot be judged. Water testing not performed.*

HOSE FAUCETS

78: Operated when tested.

UPG 79: Anti-siphon valves recommended on exterior hose faucets where not installed.



Example of an anti-siphon valve on a hose faucet

WASTE PIPING TYPE

80: Type(s) of waste water drain piping that could be seen at the time of the inspection (other piping materials may be present or used underground which are not visible at this time):

81: ABS and PVC

WASTE/SEWER PIPE CONDITION

82: **The visible areas of the waste piping used for this building are within its useful life expectancy.**

However, waste pipes are not fully visible. Pipe conditions inside walls, inaccessible areas, under the insulation and under the ground or slab cannot be judged or determined. Water testing not performed.

Note: Buildings should have the underground waste and sewer lines scoped by a plumber to determine condition as part of the inspection process.

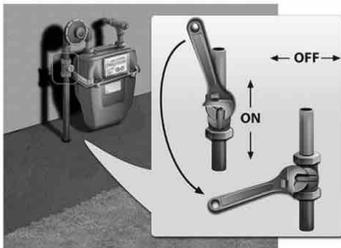
Fuels

FUEL TYPE

83: Gas shut-off appears serviceable.

Disclosure: Gas piping and valves not tested during this inspection (visual inspection only).

84: Natural Gas. Location of main shut-off: ON THE BACK OF THE HOUSE



CAUTION: If you turn off your natural gas at the meter, leave it off. Do not turn it back on yourself.



Main gas shut off valve

Water Heater

The average life of a tank type water heater is 6-10 years. Water heaters may begin to leak or quit working without

warning. Client should visually inspect the water heater regularly to help ensure good condition and that the water heater is free from leakage or corrosion.

Determining size and gpm/ adequate hot water volume is beyond the scope of a home inspection.

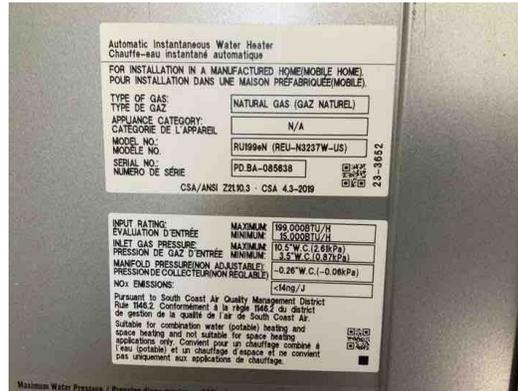
WATER HEATER INFORMATION

85: Water Heater Location: EXTERIOR - East side

Date: ANSI 2019

Size: Tankless

Fuel Type: Natural Gas



WATER HEATER CONDITION

86: Water Heater Operated when tested.

COMBUSTION AIR

87: Proper amount of combustion air.

STRAPPING

88: The Tankless Water Heater is fastened satisfactory to prevent movement.

TPR PIPING

89: The visible areas of the Water Heater TPR (Temperature Pressure Relief) pipe and valve appear serviceable in good condition. *TPR Valve not tested.*

VENT PIPING

90: Visible areas of the water heater vent flue pipe are serviceable.

GAS PIPING

91: The water heater gas piping appears serviceable and in good condition.

SHUTOFF

92: The Tankless Water Heater shutoff and flush valves are installed. *Valve not tested.*

Kitchen

LOCATION



SINK

94: The kitchen sink appears serviceable with typical wear for its age.

95: Plumbing under the kitchen sink appears to be installed correctly and is functioning.



CABINETS & COUNTERS

96: Appear serviceable.

DS 97: Disclosure: The areas behind the kitchen cabinetry, refrigerator, dishwasher and range or ovens are not accessible, not visible and not inspected.

DS 98: Kitchen counters & cabinets have typical wear.

DISPOSAL

99: Operated when tested.

COOKTOP HOOD

100: Kitchen cooktop hood, exhaust fan and light operated when tested.

MR SU 101: Kitchen cook top exhaust hood and filter are dirty.

COOKTOP

102: The cooktop is Natural Gas and operated when tested



OVEN

103: Both of the *ELECTRIC OVENS* operated when tested.

Disclosure: *The testing of the oven thermostat for temperature accuracy is outside the scope of this inspection.*

MR 104: Missing some racks in the ovens.

Laundry

LAUNDRY LOCATION:

105: Photo



LAUNDRY TYPE

DS 106: Disclosure: The drain pipe and hot and cold water supply shut offs installed for the laundry are visually inspected but are not tested.

107: Gas available for laundry dryer

108: 240-volt outlet provided for laundry dryer.

109: Laundry dryer vent provided.

However, vent system is not fully visible or tested. It is recommended that the laundry dryer vent system, vent pipe and cap be cleaned regularly to avoid excessive lint buildup, which is a potential fire hazard.

LAUNDRY COMMENTS

110: Disclosure: *The laundry washers and/or dryers are not tested or inspected as they are considered personal property and are not a permanently installed appliance. If the laundry machines are being transferred with the sale of the property, client should perform due diligence to ensure the proper and safe operation of the washer and dryer within the clients inspection period.*

DS 111: Area behind and under the laundry machines is not fully visible and not inspected at this time due to laundry machines themselves. Conditions are not fully known. Client should inspect area and satisfy themselves as to the overall condition prior to the close of escrow once the laundry machines have been moved out.

DS 112: Unable to test or verify proper operation of the laundry 240 volt outlet due to occupant's belongings and/or laundry machines. Client should verify proper and safe operation prior to close escrow.

DRYER VENTING

MR 113: Recommend cleaning and servicing the laundry dryer vent system, pipe and cap for safety as part of typical ongoing maintenance.

Bathrooms

BATHROOM LOCATIONS

114: LAUNDRY AREA BATHROOM



TOILETS

115: Operated when tested.

SINKS

116: Bathroom sink faucet and drain operated when tested.

Disclosure: *The operation and condition of the sink drain stoppers are outside the scope of this inspection and are not tested. Any and all comments made regarding sink drain stoppers are informational only and may only be specific to a single sink.*

DS 117: Disclosure: *Restricted view in the bathroom cabinets and countertop due to occupant's belongings. Check areas carefully once areas are evacuated and cleaned. If defects are found contact our office to evaluate and document condition.*

MR 118: Disclosure: Drain stoppers do not operate, are missing or do not operate well at some bathroom sinks. General maintenance recommended.

119: Bathroom sink faucet is missing the aerator and screen. Maintenance recommended: PRIMARY BEDROOM BATHROOM

VENTILATION

120: Appears adequate.

SC 121: The bathroom exhaust fan installed inside the LAUNDRY ROOM BATHROOM shower enclosure is not GFCI protected as required when installed inside the shower enclosure.

SHOWERS

122: Showers operated when tested.

Determining the water tightness and integrity of the shower pans and walls, determining conditions behind tile or enclosures at the tubs and showers is outside the scope of this inspection as areas not visible or readily accessible. Unable to verify or determining if the tile or enclosures were installed per manufacturer's installation instructions.

-

Interior

Any comments as to water intrusion is not intended to be technically exhaustive per CREIA standards, meaning that if some water intrusion is evident it is recommended to have all areas of potential water intrusion evaluated by a qualified water intrusion specialist, as this is a visual, non-destructive inspection to point out potential issues as they are apparent and visible at this time. Be aware that additional defects may be discovered during a more comprehensive evaluation.

Note: Windows or doors blocked by occupant's belongings, blinds, and/ or window-door coverings are not able to be fully inspected.

FRONT ENTRY DOOR

123: Operated when tested.

124: Weather stripping appears serviceable.

125: Door hardware operated when tested.

EXTERIOR DOORS

126: Operated when tested

127: Latching hardware operated and appears serviceable.

MR UPG 128: Visible daylight noted around some of the exterior doors. Adjustment and/or repair of the weather stripping is recommended to help prevent water and critter intrusion.



Example

INTERIOR DOORS

MR 129: Interior door rubs & sticks. Adjustment or repair recommended: LAUNDRY ROOM

MR 130: Interior door does not latch. Recommend adjustment of the strike plate: PRIMARY BEDROOM

WINDOWS

131: Aluminum / Single-Pane Glass

132: Sliding

MR 133: WINDOWS: A sampling of the accessible windows operated when tested.

Note: *Windows with blinds or shades or other coverings are not tested. All windows should be serviced by a qualified window specialist to ensure windows operate smoothly and properly and to ensure water tightness. Have all deteriorated weatherstripping replaced. Window blinds, shades, drapes or other window coverings are not inspected and are outside the scope of this inspection. Client should provide their own due diligence and evaluate all window coverings.*

MR 134: Some windows found a little difficult to operate. Maintenance or upgrades are recommended.

FLOORING

135: TYPE: Vinyl or laminate planks

136: TYPE: Carpet

CEILING TYPE

137: Drywall

138: Insulated ceiling panels

WALL TYPE

139: Drywall

140: Paneling

WALLS AND CEILINGS

141: The general overall physical condition of the interior walls and ceilings appear to be good with some typical and common cracks.

Note: Determining the indoor air quality is outside the scope of this inspection. All parties should perform their own due diligence until satisfied as to the air quality inside the living spaces to determine if it is within your own personal acceptable levels.

DS 142: Disclosure: Some typical and common cracks noted at the walls and ceilings throughout the interior. Client should monitor cracks as future additional movement may occur. Contact a qualified drywall professional for additional information with recommendations to upgrade or repair.

143: *The conditions inside walls, behind occupants' belongings, behind wallpaper or paneling, under flooring and areas not visible cannot be determined and are not inspected. Do a careful check during final walkthrough. Identification, investigation or recommendations regarding MOLD and/or the presence of MOLD are outside the scope of this inspection.*

FI 144: Evidence of moisture stains and/or damage at the walls in the BEDROOM-1 CLOSET - opposite the old water heater enclosure. Recommend further review of the water stains to determine the cause, the current condition and if repairs are needed.



Example locations

FI 145: Evidence of past moisture stains & damage with some visible mold growth on areas of the drywall: INSIDE THE EXTERIOR FURNACE ENCLOSURE. Recommend additional review by a qualified remediation professional. Recommend further review to determine if stains are current or old and if repairs are needed.



Example

FI DS 146: Evidence of past ceiling repairs found in the PRIMARY BEDROOM BATHROOM above the tub. Client should investigate further to satisfy themselves as to the cause and if additional repairs or upgrades are needed.



Heating

This inspection of the heating system and components is not intended to be technically exhaustive per CREIA standards, meaning that if a specific system or component is found to have a single defect it is recommended to have the entire system and its components evaluated by a qualified HVAC professional. Be aware that additional defects may be discovered during a more comprehensive evaluation by an appropriate professional.

GENERAL INFO

147: LOCATION: Exterior Enclosure-

FURNACE TYPE: Gas Forced Air

FUEL TYPE: Natural Gas

Approx. BTU RATING: **88,000**

DATE: 2021

Disclosure: Calculating or determining the size, efficiency, or adequacy of the heating system for this structure is outside the scope of this inspection.



LENNOX		ASSEMBLED
DALLAS, TEXAS		IN THE USA
M/N	EL280UH090XE48B - 01	
S/N	5921J20727	
HEATING DATA		
EQUIPPED FOR USE WITH NATURAL GAS		
INPUT (BTUH)	88,000/57,000	
OUTPUT (BTUH)	69,000/46,000	
MANIFOLD PRESSURE (IN. W.C.)	3.5/1.7	
GAS SUPPLY LINE PRESS (MAX/MIN IN. W.C.) FOR PURPOSE OF INPUT ADJUSTMENT	13.0/4.5	
MAXIMUM OUTLET AIR TEMP. (°F)	180	
TEMPERATURE RISE (°F)	30-60/20-50	
MANUFACTURER RECOMMENDED ORIFICE SIZE (IN.)	.0625	
MAX. STATIC PRESSURE (IN. W.C.)	0.5	
FOR ALTITUDES TO (FEET)	0-4500	
SEE INSTALLATION INSTRUCTIONS FOR INSTALLATIONS ABOVE (FEET)	4500	
CONVERSION KIT AS SUPPLIED BY THE MANUFACTURER, MUST BE USED TO CONVERT THIS UNIT TO LP/PROPANE	604888-14 / 11K51	
MFG'S RECOMMENDED ORIFICE SIZE (IN.)	.034	
MANIFOLD PRESSURE (IN. W.C.)	10.0/4.5	
FOR INDOOR INSTALLATION IN A BUILDING CONSTRUCTED ON SITE IN HEATED OR UNHEATED SPACES.		
NOTE: SPECIFY MODEL NO. & SERIAL NO. WHEN ORDERING REPAIR PARTS.		
CLEARANCE		
THIS FURNACE IS APPROVED FOR UPFLOW AND HORIZONTAL INSTALLATIONS. MIN. CLEARANCES TO COMBUSTIBLE CONSTRUCTION: (IN.) CLEARANCE ARROWS DO NOT CHANGE WITH FURNACE ORIENTATION.		
VENT CLEARANCE TO COMBUSTIBLE CONSTRUCTION**6		
* MIN. FRONT SERVICE CLEARANCE FOR ALCOVE, CLOSET, & ATTIC INSTALLATION		
** LEFT SIDE REQUIRES 2" IF SINGLE WALL VENT IS INSTALLED		



CONDITION

148: HEATING SYSTEM CONDITION: The heating system operated when tested.

FURNACE FLAME

149: The Furnace flame appears serviceable.

Disclosure: The heater was not dismantled or tested for a crack in the heat exchanger. This is beyond the scope of a home inspection. If furnace is older you should have the heat exchanger checked by a licensed HVAC professional.

Notice: Safety switches such as thermocouples are not tested. Carbon Monoxide testing is beyond the scope of the inspection and is not performed.



SU 150: Damaged or Deteriorated "NOx" SCREENS found inside the furnace burn chamber. Simple removal or replacement is recommended. Recommend further review recommendations by a qualified and licensed HVAC professional familiar with the minimum installation requirements.



VENTING

151: The visible areas of the furnace vent piping appears serviceable. *However, the furnace vent pipe is not fully visible.*

SC 152: The furnace vent pipe is not properly supported or strapped at the horizontal to vertical transition. This can allow the pipe to slip downward and could become dislodged.



Existing straps not fastened



Strapping of the vent pipe required here

DUCTING/DISTRIBUTION

153: Appears serviceable at visible areas.

Disclosure: Conditions inside the ducting are not visible and are unknown. Be advised that certain dirty ducting systems have been known to have some biohazards and/or carcinogens inside the ducting. Cleaning, resealing and servicing of HVAC system and ducting is recommended every few years.

MR 154: Recommend cleaning and sealing inside the floor registers as part of typical ongoing maintenance.

AIR FILTERS

155: Air filters found clean and in good condition inside the furnace blower compartment area.



Air filter



Air filter size



Air filter location

COMBUSTION AIR

156: Appears to be the appropriate amount and in the appropriate locations.

THERMOSTAT/CONTROLS

157: Operated when tested.

Cooling

LOCATION

158: Location: ON THE BACK OF THE HOUSE

Condenser Size: 4 Tons

Minimum Current Ampacity: 30

Maximum Current Ampacity: 40

Current Ampacity: 40 Amps (per the breaker in the electrical service disconnect panel)

Date: 2021

Refrigerant Type: R410A



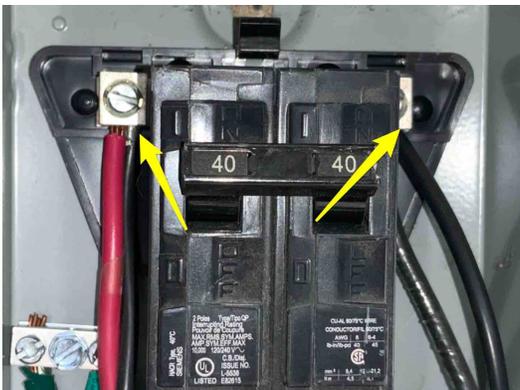
TYPE OF COOLING SYSTEM

159: Split System

160: Electrical Disconnect Provided at or near the Equipment per standards.



SC 161: Improper unsafe double tap AND two wires of different wire type (copper and aluminum) and gauge in the same lug at the air conditioner electrical service disconnect.



AIR CONDITIONING SYSTEM OPERATION

162: AIR CONDITIONER CONDITION: The air conditioner operated properly when tested.

The Air Temperature Differential is: **18°F**.

The air temperature differential for a properly functioning air conditioner should be between 15°F and 25°F.

Electrical

We recommend that all electrical defects be reviewed and repaired completely by a licensed electrical contractor. Additional defects may be discovered during review or repairs as this inspection is a general overview of the entire electrical system and may not detail every electrical defect. GFCI and Arc Fault protected circuits are tested only at the test / reset button location and only if the circuit is not being used by occupant. No other part of the circuit was tested for GFCI or AFCI protection per standards.

Disclosure: *Wiring located inside the wall cavities, behind drywall, behind non-accessible covers and in areas not readily accessible or visible for any reason are not inspected and are outside the scope of this inspection as the hidden conditions are unknown.*

TYPE OF SERVICE AND MAIN ELECTRICAL PANEL-1

163: Electrical Service Type: **Underground** (condition of service wires not fully visible and are unknown)

Main Electrical Panel Location: **ON THE BACK OF THE HOUSE**

Main Electrical Panel Ampacity: **200**

Panel Voltage: **240 volt**

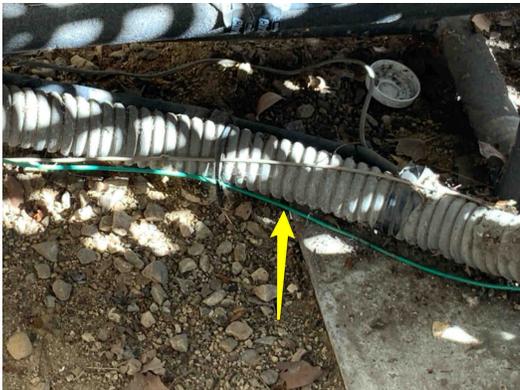
Determining the capacity of the circuits in the electrical panel(s) is outside the scope of this inspection. This is only a visual inspection of the electrical panels per the CREIA standards. No load testing of the circuits was performed.





SERVICE

SC UPG 164: The metal electrical service conduit from the main electrical panel (park riser) to the house sub panel found laying in contact with the ground in the crawlspace. This has or can cause deterioration or damage to the conduit as this conduit is NOT rated for earth contact. Evaluation and correction recommended for electrical safety.



Example



Example

WIRING/CONDUIT

165: A sampling of the switches, light fixtures and outlets operated when tested.

Disclosure: *Occupant's belongings and furniture are not moved for testing of outlets and switched. Receptacles which are in use or are blocked by child tamper barriers are not tested. If house is occupied or any restricted conditions exist, additional testing is recommended. Additional inspection fees may apply.*

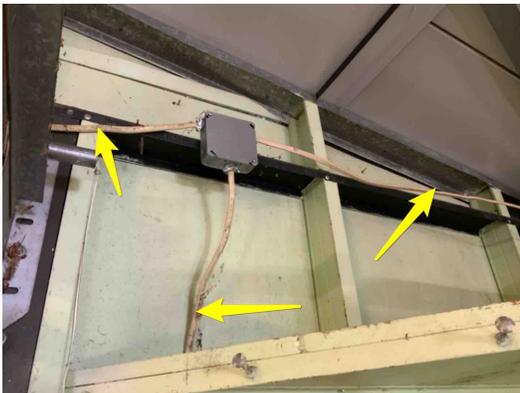
DS 166: *Disclosure: Furnishings, appliances and occupants' belongings prevent testing of every outlet and switch. Have all outlets and switches tested once home is vacant.*

SU 167: Recommend the installation of GFCI and AFCI outlet protection, Vacancy Sensors and Humidistat switches as required in all locations as a safety upgrade per California current standards.

a. Vacancy Sensor light switch: A Vacancy Sensors is a light switches that detect when a space such as a bathroom, garage, laundry room is unoccupied and will automatically turns OFF the lights after a certain amount of time, thereby saving energy.

b. Humidistat Fan Switch: A humidistat is a switch which controls a bathroom exhaust fan and turns the fan on automatically when there is a high level of moisture from the shower, reducing the overall humidity level in the bathroom.

SC 168: Improper exposed electrical wiring, "Romex" improperly installed subject to physical damage, not in a conduit or raceway per standards: GARAGE



All wiring in the garage should've been in a conduit

OUTLETS/SWITCHES

SC 169: Three-prong electrical outlets did not test properly grounded: AT THE LAUNDRY ROOM at the refrigerator outlet. Contact a licensed electrical contractor for evaluation and repairs.



LIGHTING

FI DS 170: *Some electrical switches do not operate anything visible, (purpose unknown).*

FI 171: *Some lights found to be non-operational (check bulbs if still found non-operational contact a qualified electrician to evaluate and repair or replace defective fixtures and/or switches).*

CEILING FANS

SC 172: The Ceiling fan hums when on. This is indicative of the improper use of a light dimmer switch as the fan control. Corrections recommended for safety: CASITA/ ENCLOSED DECK

EXTERIOR COVER PLATES

SU 173: Missing a proper plastic dome type exterior cover plate at the exterior outlet that the tankless water heater is permanently plugged into. A Domed exterior electrical cover plates should be installed on all exterior outlets where permanently installed electrical cords are plugged-in to an exterior outlet. This will help ensure the water tightness of the electrical connections during wet weather.



Electrical Sub-Panel

MAIN HOUSE

SUBPANEL

174: Location: **Exterior - SOUTHEAST CORNER**

Amps: **200**





175: PANEL CONDITION: No visible significant electrical defects noted in the MAIN HOUSE ELECTRICAL SUB-PANEL.

GARAGE

SUBPANEL

176: Location: **Garage**
Amps: **30**





PANEL COMMENTS

SU 177: Breakers in the GARAGE ELECTRICAL SUB PANEL are not labeled per standards.

Detectors

178: *SMOKE DETECTORS and CARBON MONOXIDE DETECTORS ARE INSTALLED IN THE REQUIRED LOCATIONS.*

Disclosure: This is not a warranty as to the effectiveness of the detectors, only that the detectors are installed in the appropriate locations per California law. Owner is responsible for testing detectors monthly and replace detectors every 10 years.

Garage

The conditions inside walls, behind occupants' belongings, and areas not visible cannot be determined. Do a careful check during final walkthrough.

Determining the condition of the waterproofing on interior below grade walls is outside the scope of this inspection. Interior walls are visually inspected for stains and damage in accessible areas that are not blocked or covered by occupants' belongings.

PHOTO

179: Garage



FLOORS

180: Visible areas of the garage floor appears serviceable.

DS 181: Common cracks found in the concrete garage floor.

DS 182: The garage floor and walls are not fully visible due to occupants' belongings and/or cabinetry. *Areas of the garage is not accessible, visible nor inspected. A re-inspection is recommended once full access is made available.*

WALLS & CEILINGS

183: Visible areas of the garage walls and ceiling appear acceptable.

If the garage is occupied, areas of the floor, walls, ceilings and attic may not be visible during original inspection due to occupant's belongings or cabinetry. If the garage is occupied during this inspection, client should have garage reinspected once garage is vacant.

DS 184: *The conditions inside walls, behind occupants' belongings, and areas not visible, cannot be determined. Do a careful check during final walkthrough.*

DS 185: Walls not fully visible due to occupants' belongings and/or cabinetry.

PEDESTRIAN DOOR

186: Operated when tested.

MR 187: Some visible daylight noted around the GARAGE exterior pedestrian door. Adding, adjustment and/or repair of the weather stripping is recommended to help prevent water and critter intrusion.

MR 188: Missing weather stripping at the doorframe at the Garage Pedestrian door.



VEHICLE DOOR TYPE

189: Roll-up

VEHICLE DOOR

190: The garage vehicle door(s) operated when tested.

191: Proper safety springs installed on the garage vehicle door.

MR 192: *Note: It is recommended to lubricate the hinges, rollers and auto opener annually as part of typical ongoing maintenance.*

DS 193: Disclosure: Some minor dents found in the panel(s) at garage vehicle roll-up door. These types of dents do not negatively affect the integrity of the door and are considered cosmetic.

VEHICLE DOOR OPENER

194: The installed garage vehicle door opener(s) operated when tested.

195: The garage vehicle door auto opener's safety reverse mechanism operated properly when tested.