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 Fax: (619) 594-1235

DATE
 08/15/2018

PROJECT
 O'GARA - 16 UNIT APARTMENTS

PROJECT DATA

OWNER: O'GARA DEVELOPMENT, INC.
 1000 10th Street, Suite 100
 San Diego, CA 92101
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 Fax: (619) 594-1235

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ENGINEER: J. B. ENGINEER
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 Fax: (619) 594-1235

SCOPE OF WORK

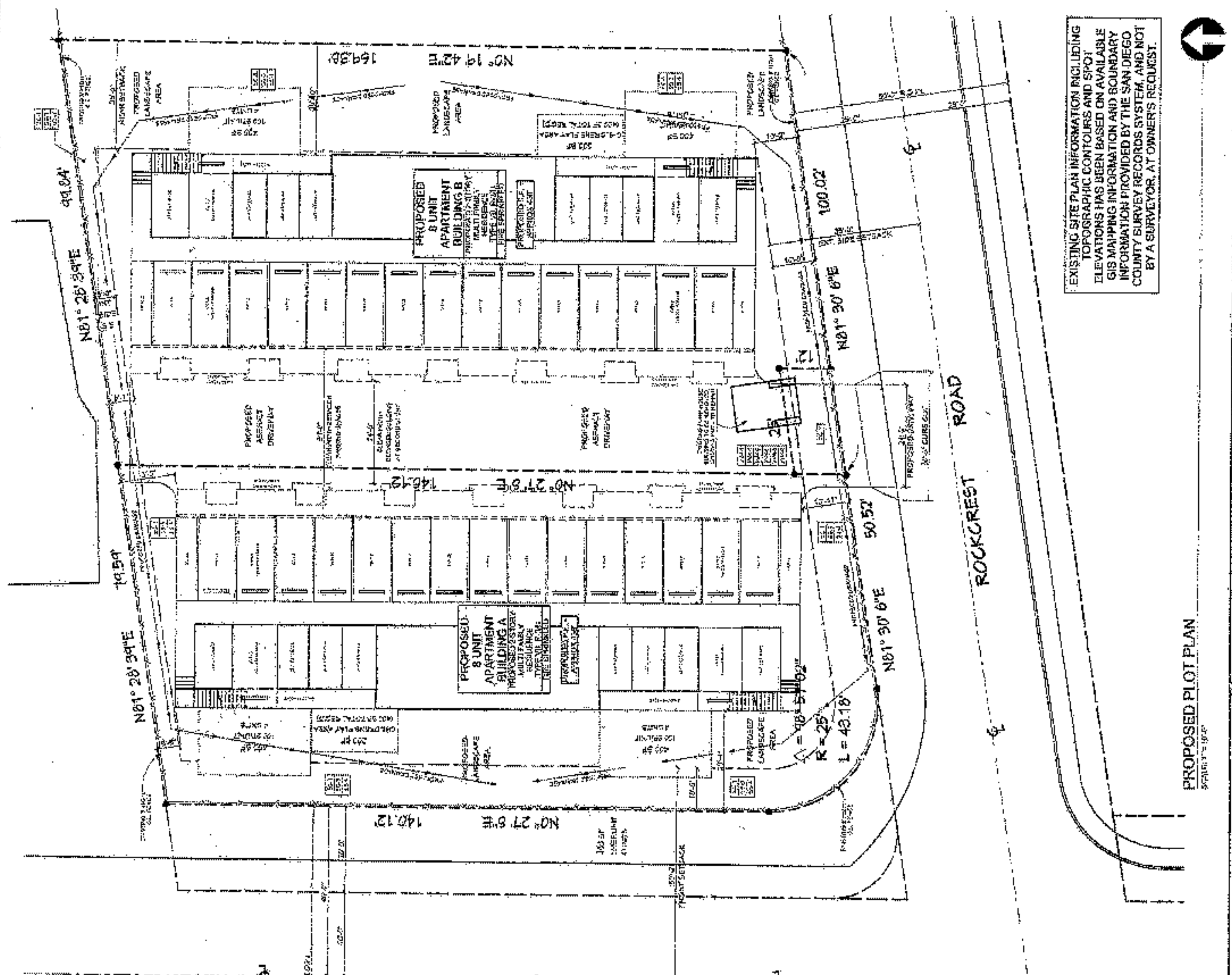
PREPARE SITE PLAN INCLUDING TOPOGRAPHIC CONTOURS AND SPOT ELEVATIONS HAS BEEN BASED ON AVAILABLE GIS MAPPING INFORMATION AND BOUNDARY INFORMATION PROVIDED BY THE SAN DIEGO COUNTY SURVEYOR, AT OWNER'S REQUEST.

VICINITY MAP

SHEET INDEX

SHEET NO.	SHEET DESCRIPTION
1	PROPOSED APARTMENT BUILDING A
2	PROPOSED APARTMENT BUILDING B
3	PROPOSED APARTMENT BUILDING C
4	PROPOSED APARTMENT BUILDING D
5	PROPOSED APARTMENT BUILDING E
6	PROPOSED APARTMENT BUILDING F
7	PROPOSED APARTMENT BUILDING G
8	PROPOSED APARTMENT BUILDING H
9	PROPOSED APARTMENT BUILDING I
10	PROPOSED APARTMENT BUILDING J
11	PROPOSED APARTMENT BUILDING K
12	PROPOSED APARTMENT BUILDING L
13	PROPOSED APARTMENT BUILDING M
14	PROPOSED APARTMENT BUILDING N
15	PROPOSED APARTMENT BUILDING O
16	PROPOSED APARTMENT BUILDING P
17	PROPOSED APARTMENT BUILDING Q
18	PROPOSED APARTMENT BUILDING R
19	PROPOSED APARTMENT BUILDING S
20	PROPOSED APARTMENT BUILDING T
21	PROPOSED APARTMENT BUILDING U
22	PROPOSED APARTMENT BUILDING V
23	PROPOSED APARTMENT BUILDING W
24	PROPOSED APARTMENT BUILDING X
25	PROPOSED APARTMENT BUILDING Y
26	PROPOSED APARTMENT BUILDING Z

TS-1



NO.	DESCRIPTION	AREA (SQ. FT.)	PERCENT
1	PROPOSED APARTMENT BUILDING A	10,000	10.00
2	PROPOSED APARTMENT BUILDING B	10,000	10.00
3	PROPOSED APARTMENT BUILDING C	10,000	10.00
4	PROPOSED APARTMENT BUILDING D	10,000	10.00
5	PROPOSED APARTMENT BUILDING E	10,000	10.00
6	PROPOSED APARTMENT BUILDING F	10,000	10.00
7	PROPOSED APARTMENT BUILDING G	10,000	10.00
8	PROPOSED APARTMENT BUILDING H	10,000	10.00
9	PROPOSED APARTMENT BUILDING I	10,000	10.00
10	PROPOSED APARTMENT BUILDING J	10,000	10.00
11	PROPOSED APARTMENT BUILDING K	10,000	10.00
12	PROPOSED APARTMENT BUILDING L	10,000	10.00
13	PROPOSED APARTMENT BUILDING M	10,000	10.00
14	PROPOSED APARTMENT BUILDING N	10,000	10.00
15	PROPOSED APARTMENT BUILDING O	10,000	10.00
16	PROPOSED APARTMENT BUILDING P	10,000	10.00
17	PROPOSED APARTMENT BUILDING Q	10,000	10.00
18	PROPOSED APARTMENT BUILDING R	10,000	10.00
19	PROPOSED APARTMENT BUILDING S	10,000	10.00
20	PROPOSED APARTMENT BUILDING T	10,000	10.00
21	PROPOSED APARTMENT BUILDING U	10,000	10.00
22	PROPOSED APARTMENT BUILDING V	10,000	10.00
23	PROPOSED APARTMENT BUILDING W	10,000	10.00
24	PROPOSED APARTMENT BUILDING X	10,000	10.00
25	PROPOSED APARTMENT BUILDING Y	10,000	10.00
26	PROPOSED APARTMENT BUILDING Z	10,000	10.00

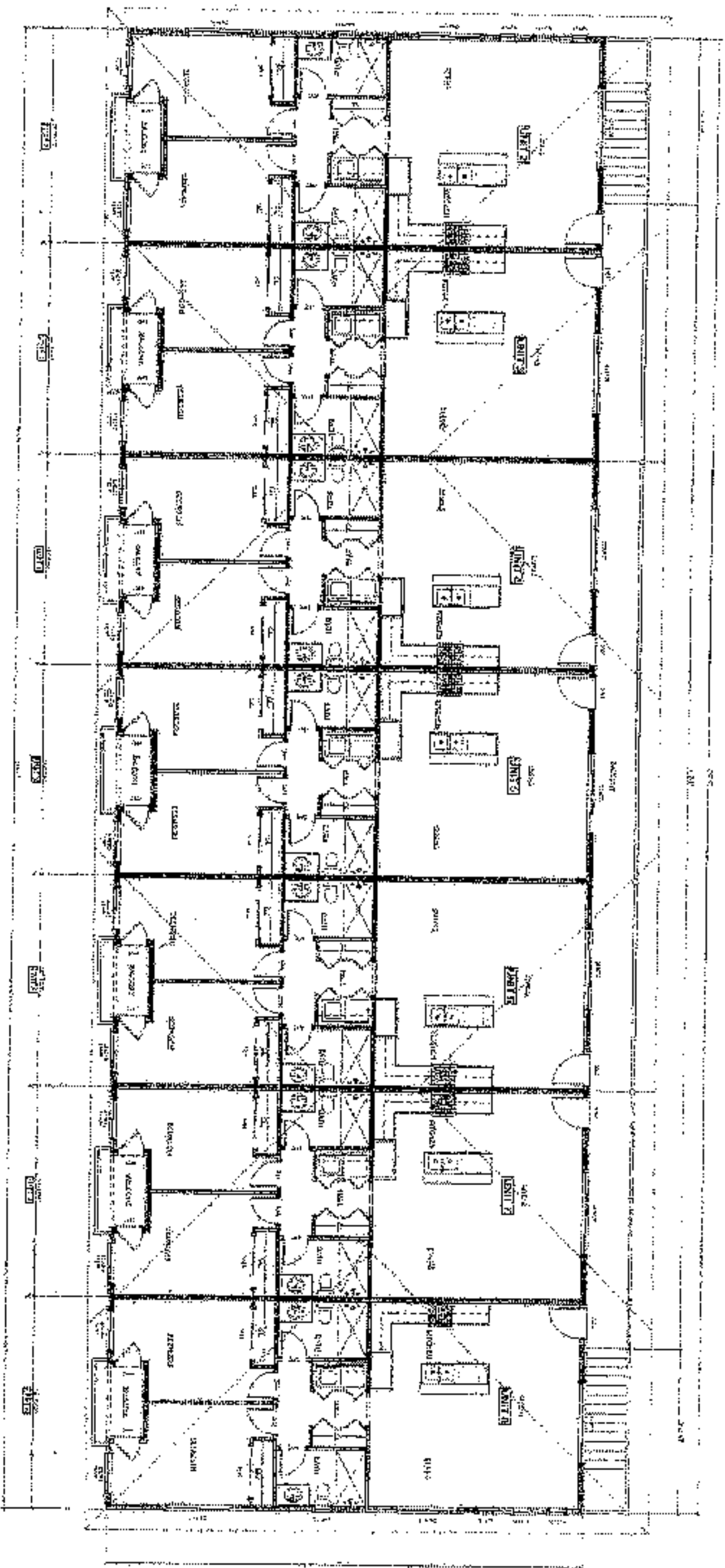
Architectural floor plan of a building, likely a residential or institutional structure. The plan shows a central corridor running horizontally, with rooms branching off on both sides. The rooms are labeled with their functions and dimensions.

Rooms and Dimensions (from top to bottom):

- UNIT 1 (10' x 12')
- UNIT 2 (10' x 12')
- UNIT 3 (10' x 12')
- UNIT 4 (10' x 12')
- UNIT 5 (10' x 12')
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- UNIT 99 (10' x 12')
- UNIT 100 (10' x 12')

[illegible]

REVISIONS	
NO.	DESCRIPTION
1	Initial Issue
2	Revised to include...
3	Revised to include...
4	Revised to include...
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100	Revised to include...



BUILDING A & B OVERALL SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"



WALL LEGEND

- 1. 1/2" CMU (CONCRETE MASONRY UNIT) - EXTERIOR WALLS
- 2. 1/2" CMU (CONCRETE MASONRY UNIT) - INTERIOR WALLS
- 3. 1/2" CMU (CONCRETE MASONRY UNIT) - PARTITION WALLS
- 4. 1/2" CMU (CONCRETE MASONRY UNIT) - CORE WALLS
- 5. 1/2" CMU (CONCRETE MASONRY UNIT) - STAIR WALLS
- 6. 1/2" CMU (CONCRETE MASONRY UNIT) - ELEVATOR WALLS
- 7. 1/2" CMU (CONCRETE MASONRY UNIT) - LOBBY WALLS
- 8. 1/2" CMU (CONCRETE MASONRY UNIT) - HALLWAY WALLS
- 9. 1/2" CMU (CONCRETE MASONRY UNIT) - UNIT WALLS
- 10. 1/2" CMU (CONCRETE MASONRY UNIT) - BATH WALLS
- 11. 1/2" CMU (CONCRETE MASONRY UNIT) - KITCHEN WALLS
- 12. 1/2" CMU (CONCRETE MASONRY UNIT) - BEDROOM WALLS
- 13. 1/2" CMU (CONCRETE MASONRY UNIT) - LIVING WALLS
- 14. 1/2" CMU (CONCRETE MASONRY UNIT) - DINING WALLS
- 15. 1/2" CMU (CONCRETE MASONRY UNIT) - BREAKFAST WALLS
- 16. 1/2" CMU (CONCRETE MASONRY UNIT) - ENTRY WALLS
- 17. 1/2" CMU (CONCRETE MASONRY UNIT) - CLOSET WALLS
- 18. 1/2" CMU (CONCRETE MASONRY UNIT) - STORAGE WALLS
- 19. 1/2" CMU (CONCRETE MASONRY UNIT) - PANTRY WALLS
- 20. 1/2" CMU (CONCRETE MASONRY UNIT) - LAUNDRY WALLS

FINISHES

- 1. 1/2" CMU (CONCRETE MASONRY UNIT) - EXTERIOR WALLS
- 2. 1/2" CMU (CONCRETE MASONRY UNIT) - INTERIOR WALLS
- 3. 1/2" CMU (CONCRETE MASONRY UNIT) - PARTITION WALLS
- 4. 1/2" CMU (CONCRETE MASONRY UNIT) - CORE WALLS
- 5. 1/2" CMU (CONCRETE MASONRY UNIT) - STAIR WALLS
- 6. 1/2" CMU (CONCRETE MASONRY UNIT) - ELEVATOR WALLS
- 7. 1/2" CMU (CONCRETE MASONRY UNIT) - LOBBY WALLS
- 8. 1/2" CMU (CONCRETE MASONRY UNIT) - HALLWAY WALLS
- 9. 1/2" CMU (CONCRETE MASONRY UNIT) - UNIT WALLS
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- 17. 1/2" CMU (CONCRETE MASONRY UNIT) - CLOSET WALLS
- 18. 1/2" CMU (CONCRETE MASONRY UNIT) - STORAGE WALLS
- 19. 1/2" CMU (CONCRETE MASONRY UNIT) - PANTRY WALLS
- 20. 1/2" CMU (CONCRETE MASONRY UNIT) - LAUNDRY WALLS

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	01/15/2010
2	ISSUED FOR CONSTRUCTION	02/15/2010
3	ISSUED FOR OCCUPANCY	03/15/2010

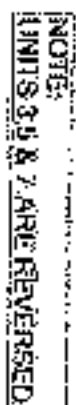
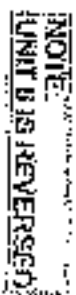
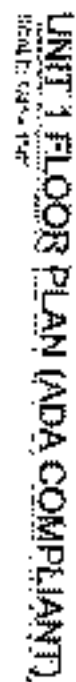
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 AFFORDABLE ARCHITECT.



CIGARA - 16 UNIT APARTMENTS
 BUILDINGS A & B
 ROCKCREST ROAD
 LAKESIDE, CA 92040
 A.P.N.: 384-340-39-00

A-2.1



UNITS 2 & 8 FLOOR PLAN

የግንባታው ዋጋ 1.5 ሚሊዮን ብር ነው።

UNITS 3 - 7 FLOOR PLAN

SW261E: 43° + 14°

Bob Belanger
ARCHITECT
AFFORDABLE DESIGN AND CONSTRUCTION
200 BEECHMOUNT AVENUE, SUITE 100
MIDLAND, ONT. L5R 1G5
PHONE: 416-291-0000
FAX: 416-291-0001
WWW.BELANGERARCHITECT.COM

O'GARA - 16 UNIT APARTMENTS
BUILDINGS A & B
ROCKCREST ROAD
LAKESIDE, CA 92046
A.P.N.: 364-340-38-00

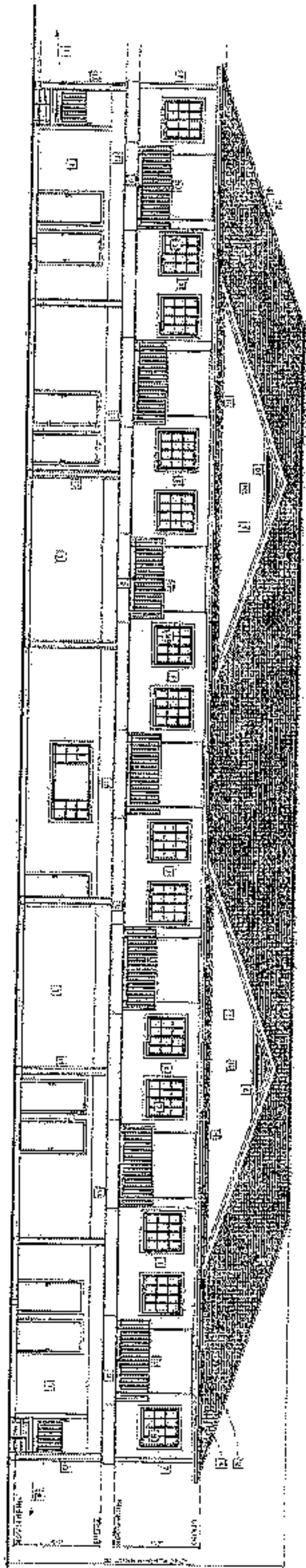
ANALYST:

For the purpose of this study, the following hypotheses were formulated:

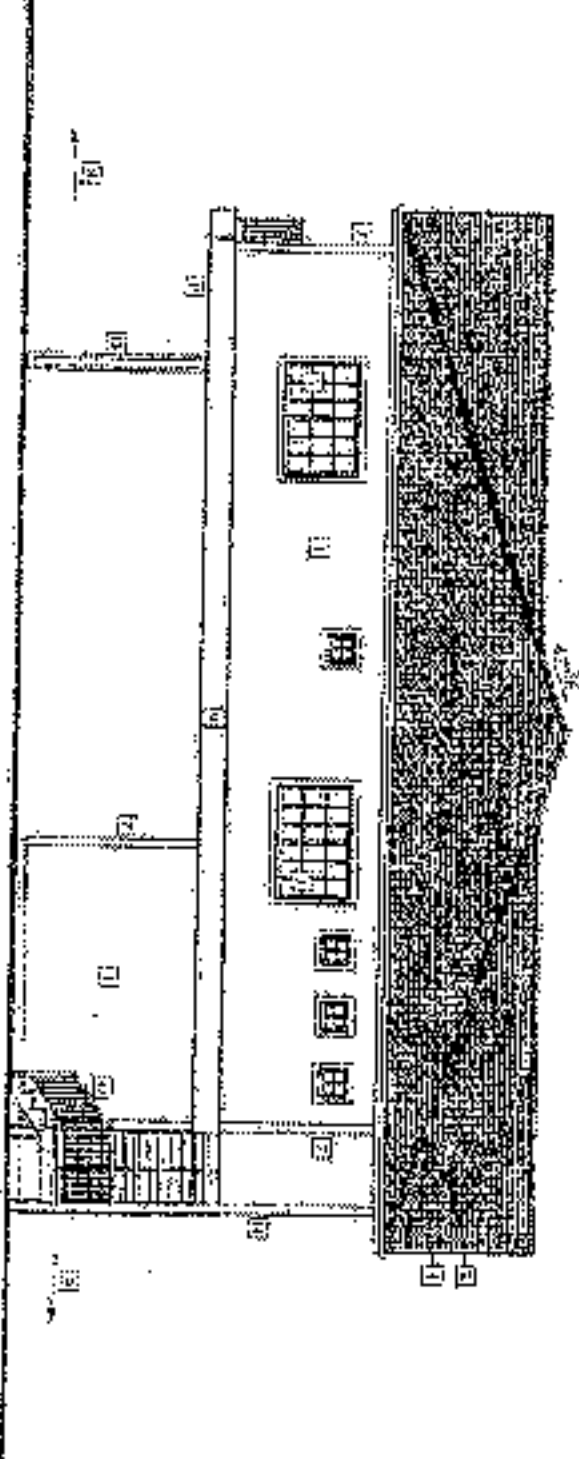
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Journal of Internal Medicine 255: 103–110

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Journal compilation © 2007 Blackwell Publishing Ltd

A-2.2



FRONT ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATION REFERENCE NOTES

1. EXTERIOR FINISHES SHALL BE AS SHOWN ON THE EXTERIOR ELEVATIONS. FINISHES NOT SHOWN SHALL BE DETERMINED BY THE ARCHITECT.
2. EXTERIOR WALLS SHALL BE CONCRETE OR CMU UNLESS OTHERWISE NOTED.
3. EXTERIOR ROOFING SHALL BE AS SHOWN ON THE EXTERIOR ELEVATIONS. ROOFING NOT SHOWN SHALL BE DETERMINED BY THE ARCHITECT.
4. EXTERIOR FLOORING SHALL BE AS SHOWN ON THE EXTERIOR ELEVATIONS. FLOORING NOT SHOWN SHALL BE DETERMINED BY THE ARCHITECT.
5. EXTERIOR PAINT SHALL BE AS SHOWN ON THE EXTERIOR ELEVATIONS. PAINT NOT SHOWN SHALL BE DETERMINED BY THE ARCHITECT.
6. EXTERIOR LIGHTING SHALL BE AS SHOWN ON THE EXTERIOR ELEVATIONS. LIGHTING NOT SHOWN SHALL BE DETERMINED BY THE ARCHITECT.
7. EXTERIOR VENTILATION SHALL BE AS SHOWN ON THE EXTERIOR ELEVATIONS. VENTILATION NOT SHOWN SHALL BE DETERMINED BY THE ARCHITECT.
8. EXTERIOR STAIRS SHALL BE AS SHOWN ON THE EXTERIOR ELEVATIONS. STAIRS NOT SHOWN SHALL BE DETERMINED BY THE ARCHITECT.
9. EXTERIOR RAMPING SHALL BE AS SHOWN ON THE EXTERIOR ELEVATIONS. RAMPING NOT SHOWN SHALL BE DETERMINED BY THE ARCHITECT.
10. EXTERIOR FENCES SHALL BE AS SHOWN ON THE EXTERIOR ELEVATIONS. FENCES NOT SHOWN SHALL BE DETERMINED BY THE ARCHITECT.
11. EXTERIOR SIGNAGE SHALL BE AS SHOWN ON THE EXTERIOR ELEVATIONS. SIGNAGE NOT SHOWN SHALL BE DETERMINED BY THE ARCHITECT.
12. EXTERIOR LANDSCAPING SHALL BE AS SHOWN ON THE EXTERIOR ELEVATIONS. LANDSCAPING NOT SHOWN SHALL BE DETERMINED BY THE ARCHITECT.
13. EXTERIOR UTILITY SHALL BE AS SHOWN ON THE EXTERIOR ELEVATIONS. UTILITY NOT SHOWN SHALL BE DETERMINED BY THE ARCHITECT.
14. EXTERIOR SECURITY SHALL BE AS SHOWN ON THE EXTERIOR ELEVATIONS. SECURITY NOT SHOWN SHALL BE DETERMINED BY THE ARCHITECT.
15. EXTERIOR MAINTENANCE SHALL BE AS SHOWN ON THE EXTERIOR ELEVATIONS. MAINTENANCE NOT SHOWN SHALL BE DETERMINED BY THE ARCHITECT.

NO.	DATE	DESCRIPTION
1	10/1/2010	ISSUED FOR PERMIT
2	10/15/2010	ISSUED FOR CONSTRUCTION
3	11/1/2010	ISSUED FOR FINAL REVIEW
4	11/15/2010	ISSUED FOR RECORD

Architect
APPROVED DESIGN AND DRAWING
FOR EXAMINATION
DATE: 10/15/2010
BY: [Signature]

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O'GARA - 18 UNIT APARTMENTS
BUILDINGS A & B
ROCKCREST ROAD
LAKEVIEW, CA 92040
A.P.N.: 384-340-55-00

A-4

This architectural drawing depicts a long, narrow building facade, oriented vertically. The structure features a series of windows along its length, including several small, square windows and two larger, multi-paned rectangular windows. A prominent, large, textured section, possibly representing a wall or a large window with a grid pattern, runs along the right side of the facade. The drawing is oriented vertically on the page, with the top of the building at the bottom of the image.

[illegible]

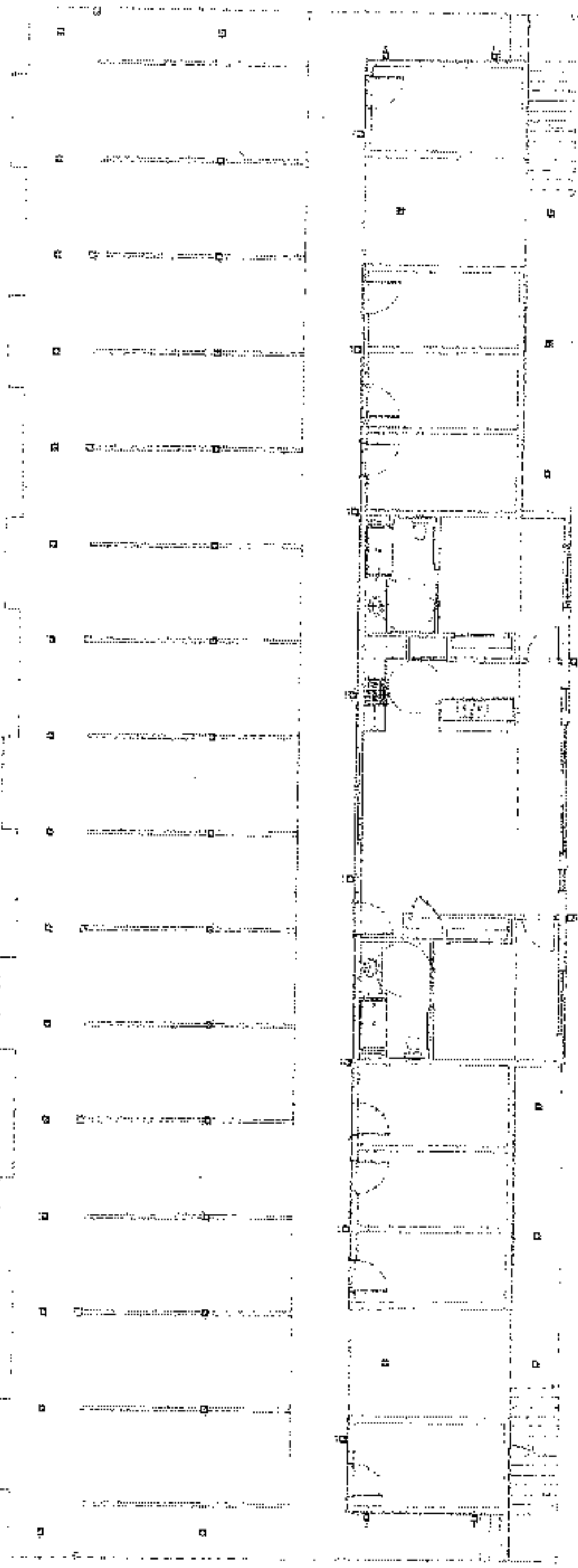
The seal of the Federal Bureau of Investigation (FBI) is located in the top right corner of the document. It features a circular design with the words "DEPARTMENT OF JUSTICE" and "FEDERAL BUREAU OF INVESTIGATION" around the perimeter, and a central shield with various symbols.

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Bob Selinger
ARCHITECT
ARCHITECTURE DESIGN AND DRAFTING
808 BELANGER ARCHITECT
PHONE: (415) 651-1210

[illegible]

BY RELEASING I.E.D. CRY LIGHT EXPLODE & TRIM TO BE APPROVED BY CIVILIAN
MATERIAL NEEDED CAN BE USED IN EXTERIOR LIGHTING
SHALL BE SPECIFICALLY MANUFACTURED AND APPROVED FOR OUTDOOR USE



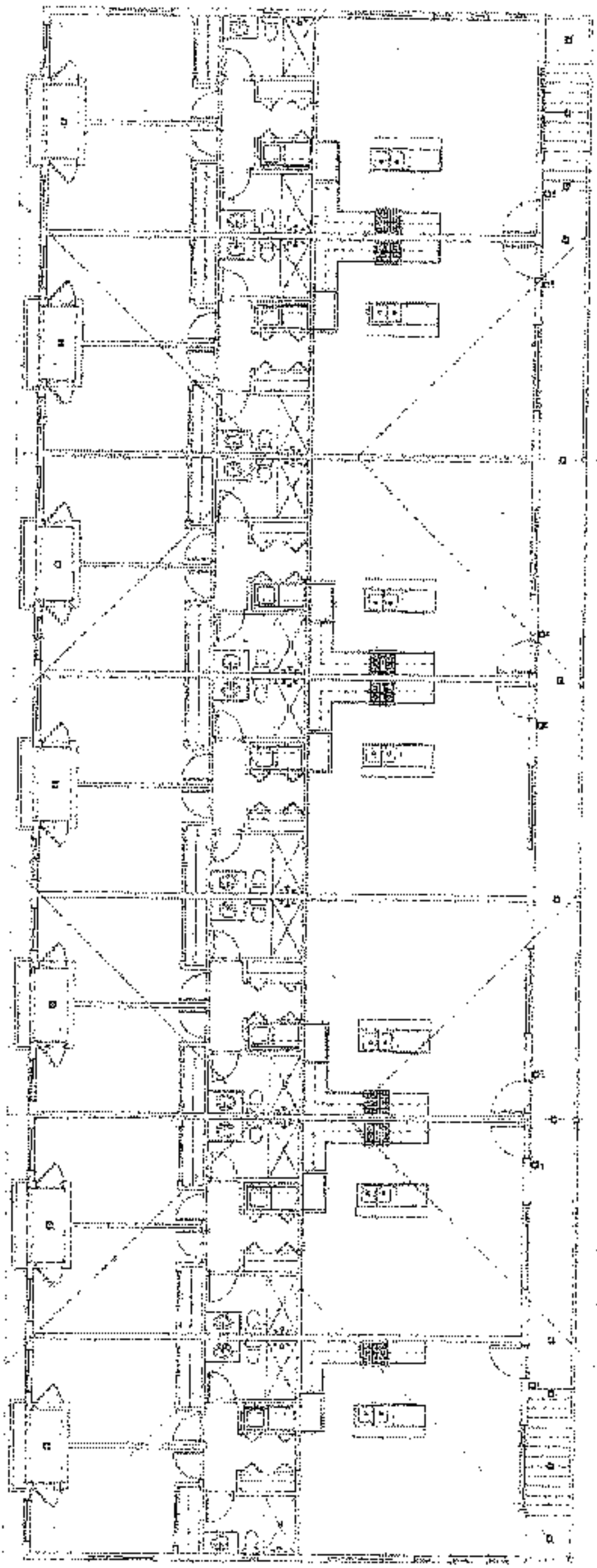
BUILDING A & B FIRST FLOOR EXTERIOR LIGHTING PLAN



O'GARA - 16 UNIT APARTMENTS
BUILDINGS A & B
ROCKCREST ROAD
LAKESIDE, CA 92040
A.P.N.: 394-340-39-00

DEPT. OF
CHILD-
LABOR

7-A



BUILDING A & B SECOND FLOOR EXTERIOR LIGHTING PLAN
SCALE: 1/8" = 1'-0"



LIGHTING SYMBOL SCHEDULE

- 1. RECESSED L.E.D. DOWNLIGHT FIXTURES & TRIM TO BE APPROVED BY OWNER.
- 2. NOTE: ALL RECESSED DOWNLIGHT FIXTURES USED IN EXTERIOR SPACES ARE TO BE SPECIFICALLY MARKED IN RED AND APPROVED FOR OUTDOOR USE.
- 3. EXTERIOR WATERPROOF WALL MOUNTED HIGH EFFICIENCY L.E.D. LIGHT FIXTURES, OR SWITCH CONTROLLED BY APPROVED MOTION SENSOR AND PHOTOCONTROL AS REQUIRED FOR TIME CLOCK ON TIME, MEETINGS 3/24 REQUIREMENTS

REVISIONS	DATE	BY

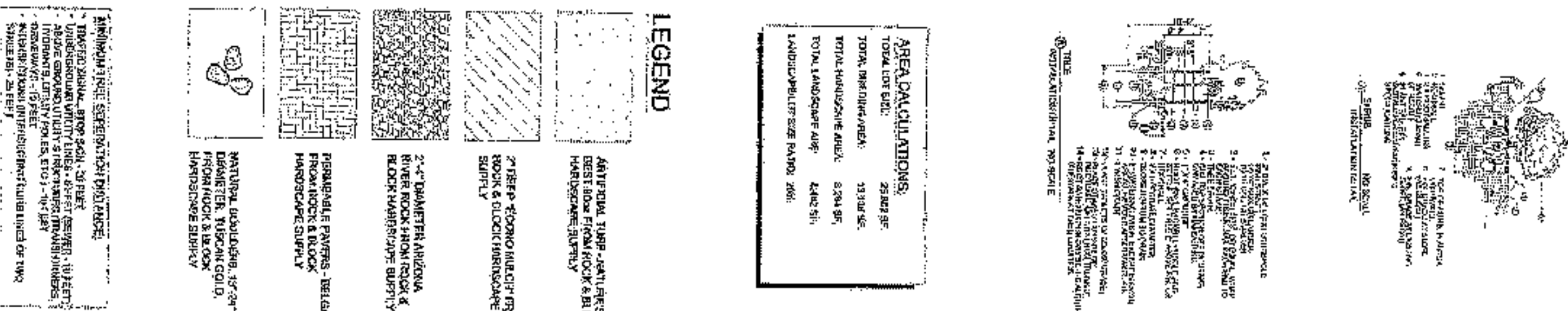
O'GAR & 16 UNIT APARTMENTS
BUILDINGS A & B
ROCKCREST ROAD
LAKESIDE, CA 92040
A.P.N.: 324-340-39-00



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AFFORDABLE DESIGN AND BUILDING
J. SELINGER, ARCHITECT
PH: 619.434.1238
EMAIL: jselinger@affordable.com
WEBSITE: www.affordable.com

DESIGN: J. SELINGER
DATE: 01/15/2010
SCALE: 1/8" = 1'-0"
A-7.1



WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	WIDE SPREAD 1.5M	
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2. ALL LANDSCAPE AND INTERIOR SPACES SHALL BE MAINTAINED AND MONITORED TO DETERMINE WHY THE CITY OF LANSING'S LANDSCAPE RECOGNITION, THE LAND DEVELOPMENT MANUAL, THE PLANNING AND ZONING ORDINANCES, AND ALL OTHER LANDSCAPE AND PLANNING ACTS REDUCING STANDARDS.
3. PRIORS TO MONITORING, THE CITY OF LANSING SHALL (a) FORM A LANDSCAPE MONITORING TEAM, THE APPLICATION OF THE MONITORING TEAM SHALL BE MONITORED BY THE CITY OF LANSING TO BE DETERMINED AND TO BE MONITORED TO BE MAINTAINED TO BE COMPLETED, PREVENTED BY A LANDSCAPE.
5. ALL RECOGNIZED LANDSCAPE APPLICATIONS, PROJECTS, OR DEVELOPMENTS, OR PROJECTS, THE LANDSCAPE RECOGNITION, THE LAND DEVELOPMENT MANUAL, THE PLANNING AND ZONING ORDINANCES, AND ALL OTHER LANDSCAPE AND PLANNING ACTS REDUCING STANDARDS.

4. INVENTORSHIP OF THE INVENTORSHIP SYSTEM PROCEEDS FROM AND BEHIND THE SURFACE AND NOT BEHIND THE SURFACE TO AN UNREASONED CONJECTURE.

3. MOORE ROAD BARRIERS SHALL BE INSTALLED IN THE FOLLOWING MANNER: ONE BARRIER SHALL BE PLACED ON THE STREET SIDE OF THE ROAD AND ONE BARRIER SHALL BE PLACED ON THE SIDEWALK. THE BARRIERS SHALL BE PLACED SUCH THAT THEY WILL NOT BE IN THE PATH OF TRAFFIC.

THE LANDOWNER AREAS SHALL BE MAINTAINED IN THE SAME CONDITION AS AT THE DATE OF THE SURVEY. THE LANDOWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE LANDS AND SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE LANDS AND SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE LANDS.

10. INDICATION OF MODIFIED, EFFECTIVELY CONTROLLED INFORMATION SYSTEMS. It is proposed as required by section 2 of the Access to Information Act that the Government of Canada maintain a list of the various information systems, databases, and data banks under its control. The list should be organized by the type of information contained in the system and by the location of the system. The list should be updated annually and should be made available to the public.

11. THE APPLICANT AGREES TO GRANT WITHIN FIVE (5) BUSINESS DAYS OF THE RECEIPT OF THE COMPLAINT, OR THE FIRST WORKING DAY THEREAFTER, A WRITTEN RESPONSE TO THE COMPLAINT, AND TO PROVIDE A WRITTEN RESPONSE TO THE APPLICANT WITHIN FIVE (5) BUSINESS DAYS OF THE RECEIPT OF THE APPLICANT'S RESPONSE TO THE COMPLAINT. THE APPLICANT'S RESPONSE TO THE COMPLAINT SHALL BE IN WRITING AND SHALL BE PROVIDED TO THE APPLICANT BY THE APPLICANT'S ATTORNEY. THE APPLICANT'S RESPONSE TO THE COMPLAINT SHALL BE PROVIDED TO THE APPLICANT BY THE APPLICANT'S ATTORNEY.

12. ALL PERSONS SHALL REMAIN IN THE THEATRE UNTIL THE
ADDITIONAL PATROL STATIONED THEREIN. AFTER THAT
TIME OF REMOVAL AND THE INTERNATIONAL SECURITY OR
PROSECUTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF THE
PERSONS FROM THE THEATRE.