



CROSSWIND HOME INSPECTION

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HOME INSPECTION

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04/11/2025



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Summary Text (enter here)

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- ⊖ 9.2.3 Bathrooms - Sinks, Tubs & Showers: Apparent microbial growth
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1: INSPECTION DETAIL

Information

General Inspection Info: Type of Building

Multi-Family, Attached

General Inspection Info: Occupancy

Occupied, Furnished

General Inspection Info: Weather Conditions

Sunny

General Inspection Info: In Attendance

Tenant

I prefer to have my client with me during my inspection so that we can discuss concerns, and I can answer all questions.

Your Job As a Homeowner: What Really Matters in a Home Inspection

Now that you've bought your home and had your inspection, you may still have some questions about your new house and the items revealed in your report.

Home maintenance is a primary responsibility for every homeowner, whether you've lived in several homes of your own or have just purchased your first one. Staying on top of a seasonal home maintenance schedule is important, and your InterNACHI Certified Professional Inspector can help you figure this out so that you never fall behind. Don't let minor maintenance and routine repairs turn into expensive disasters later due to neglect or simply because you aren't sure what needs to be done and when.

Your home inspection report is a great place to start. In addition to the written report, checklists, photos, and what the inspector said during the inspection not to mention the sellers disclosure and what you noticed yourself it's easy to become overwhelmed. However, it's likely that your inspection report included mostly maintenance recommendations, the life expectancy for the home's various systems and components, and minor imperfections. These are useful to know about.

But the issues that really matter fall into four categories:

1. major defects, such as a structural failure;
2. things that can lead to major defects, such as a small leak due to a defective roof flashing;
3. things that may hinder your ability to finance, legally occupy, or insure the home if not rectified immediately; and
4. safety hazards, such as an exposed, live buss bar at the electrical panel.

Anything in these categories should be addressed prior to close of escrow. Often, a serious problem can be corrected inexpensively to protect both life and property (especially in categories 2 and 4).

Most sellers are honest and are often surprised to learn of defects uncovered during an inspection. It's important to realize that sellers are under no obligation to repair everything mentioned in your inspection report. Your inspector did their best to find and report on as many material defects as possible within the limited scope of the inspection, home inspections will not reveal all the present defects, only those visible to the inspector at the time of the inspection. No house is perfect. Keep things in perspective as you move into your new home.

And remember that homeownership is both a joyful experience and an important responsibility, so be sure to call on your InterNACHI Certified Professional Inspector to help you devise an annual maintenance plan that will keep your family safe and your home in good condition for years to come.

Your Job As a Homeowner: Schedule a Home Maintenance Inspection



Even the most vigilant homeowner can, from time to time, miss small problems or forget about performing some routine home repairs and seasonal maintenance. That's why an Annual Home Maintenance Inspection will help you keep your home in good condition and prevent it from suffering serious, long-term and expensive damage from minor issues that should be addressed now.

The most important thing to understand as a new homeowner is that your house requires care and regular maintenance. As time goes on, parts of your house will wear out, break down, deteriorate, leak, or simply stop working. But none of these issues means that you will have a costly disaster on your hands if you're on top of home maintenance, and that includes hiring an expert once a year.

Just as you regularly maintain your vehicle, consider getting an Annual Home Maintenance Inspection as part of the cost of upkeep for your most valuable investment your home.

Your InterNACHI-Certified Professional Inspector can show you what you should look for so that you can be an informed homeowner. Protect your family's health and safety, and enjoy your home for years to come by having an Annual Home Maintenance Inspection performed every year.

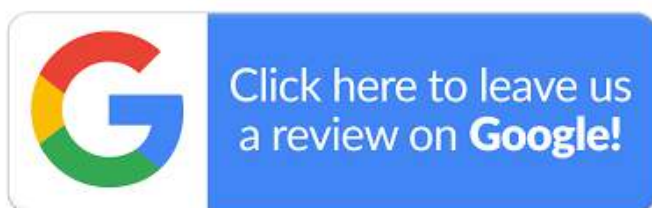
Schedule next year's maintenance inspection with your home inspector today!

Every house should be inspected every year as part of a homeowner's routine home maintenance plan. Catch problems before they become major defects.

Your Job As a Homeowner: How did we do?

We sincerely hope this report helps you in making your decision! Please feel free to contact us if you have any questions today or down the road, we are always here to help.

We would really appreciate it if you could leave us a Google review!



Details



InterNACHI is so certain of the integrity of our members that we back them up with our **\$10,000 Honor Guarantee**.

InterNACHI will pay up to \$10,000 USD for the cost of replacement of personal property lost during an inspection and stolen by an InterNACHI-certified member who was convicted of or pleaded guilty to any criminal charge resulting from the member's taking of the client's personal property.

For details, please visit www.nachi.org/honor.

2: ROOF

Information

Roof Covering: Roof Type

flat/low slope

I attempted to determine the style of roof.

Roof Covering: Roof Was Inspected

Drone

We attempted to inspect the roof from various locations and methods.

The inspection was not an exhaustive inspection of every installation detail of the roof system according to the manufacturer's specifications or construction codes. It is virtually impossible to detect a leak except as it is occurring or by specific water tests, which are beyond the scope of our inspection. We recommend that you ask the sellers to disclose information about the roof, and that you include comprehensive roof coverage in your home insurance policy.

Roof Covering: Homeowner's Responsibility

Your job as the homeowner is to monitor the roof covering because any roof can leak. To monitor a roof that is inaccessible or that cannot be walked on safely, use binoculars. Look for deteriorating or loosening of flashing, signs of damage to the roof covering and debris that can clog valleys and gutters.

Roofs are designed to be water-resistant. Roofs are not designed to be waterproof. Eventually, the roof system will leak. No one can predict when, where or how a roof will leak.

Every roof should be inspected every year as part of a homeowner's routine home maintenance plan. Catch problems before they become major defects.

Roof Covering: Type of Roof-Covering Described

Asphalt

I observed the roof-covering material and attempted to identify its type.

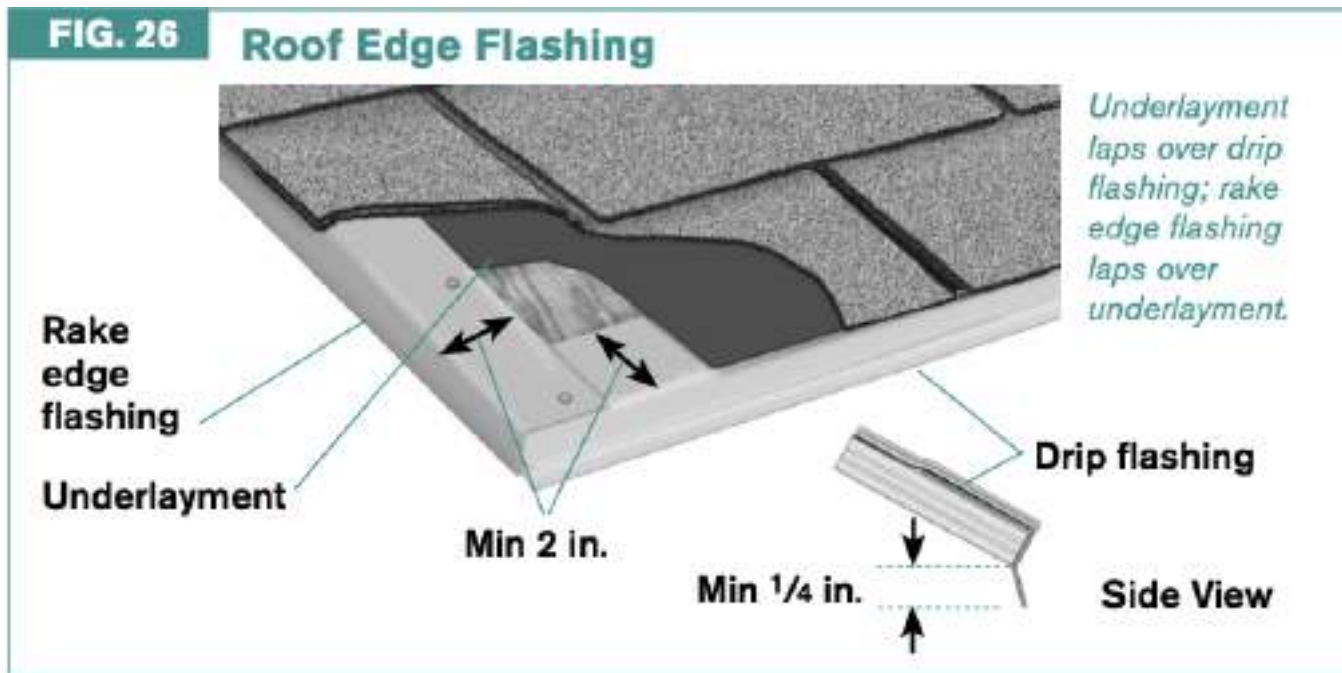
This inspection is not a guarantee that a roof leak in the future will not happen. Roofs leak. Even a roof that appears to be in good, functional condition will leak under certain circumstances. We will not take responsibility for a roof leak that happens in the future. This is not a warranty or guarantee of the roof system.





Flashing: Eaves and Gables

I looked for flashing installed at the eaves (near the gutter edge) and at the gables (the diagonal edge of the roof). There should be metal drip flashing material installed in these locations. The flashing helps the surface water on the roof to discharge into the gutter. Flashing also helps to prevent water intrusion under the roof-covering.

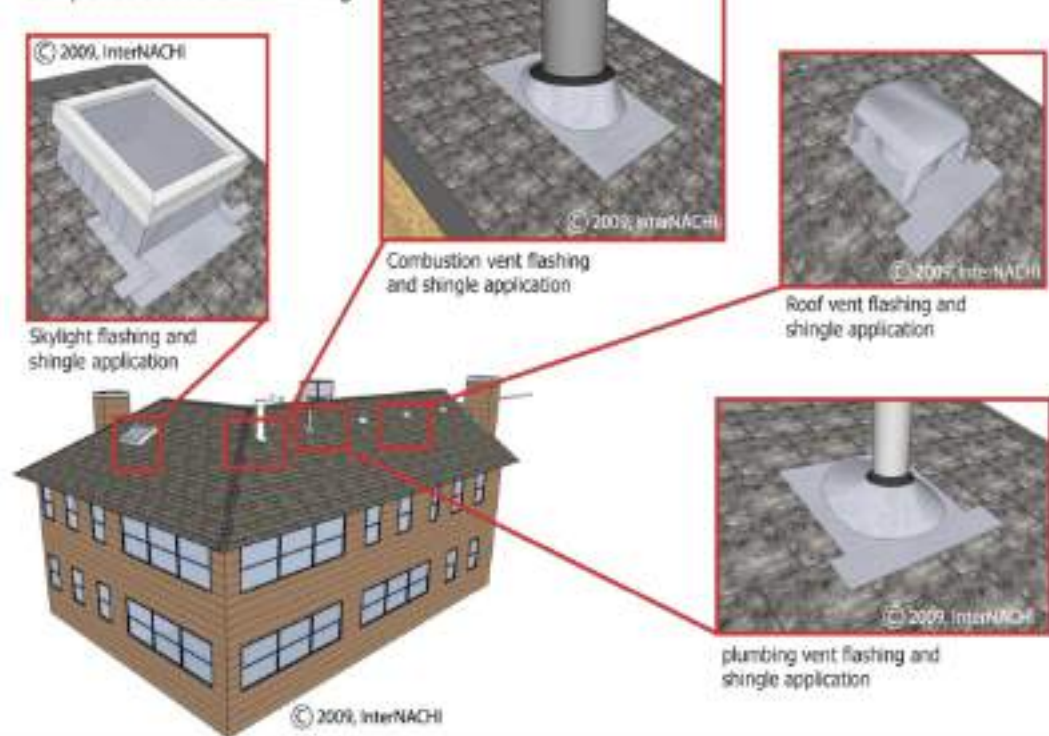


Plumbing Vent Pipes: Homeowner's Responsibility

Your job is to monitor the flashing around the plumbing vent pipes that pass through the roof surface. Sometimes they deteriorate and cause a roof leak.

Be sure that the plumbing vent pipes do not get covered, either by debris, a toy, or snow.

Roof penetrations and flashing



Plumbing Vent Pipes: Plumbing Vent Pipes Inspected

I looked at DWV (drain, waste and vent) pipes that pass through the roof covering. There should be watertight flashing (often black rubber material) installed around the vent pipes. These plumbing vent pipes should extend far enough above the roof surface.



Flue Gas Vent Pipes: Homeowner's Responsibility

Your job is to monitor the flashing around the flue gas vent pipes that pass through the roof surface. Sometimes they deteriorate and cause a roof leak.

Flue Gas Vent Pipes: Flue Gas Vent Pipe Inspected

I looked at flue gas vent pipes that pass through the roof covering.

All gas-fired appliances must be connected to venting systems. There should be watertight metal flashing installed around the flue gas vent pipes. The vent pipes should extend far enough above the roof surface.



Gutters & Downspouts: Homeowner's Responsibility

Your job is to monitor the gutters and be sure that they function during and after a rainstorm. Look for loose parts, sagging gutter ends, and water leaks. The rain water should be diverted far away from the house foundation.

Limitations

Roof Covering

UNABLE TO SEE EVERYTHING

This is a visual-only inspection of the roof-covering materials. It does not include an inspection of the entire system. There are components of the roof that are not visible or accessible at all, including the underlayment, decking, fastening, flashing, age, shingle quality, manufacturer installation recommendations, etc.

Roof Covering

UNABLE TO WALK UPON ROOF SURFACE

According to the Home Inspection Standards of Practice, a home inspector is not required to walk upon any roof surface. However, as courtesy only, I attempted to walk upon the roof surface, but was unable. It was not safe. It was not accessible. This was a restriction to my inspection of the roof system. You may want to consider hiring a professional roofer with a lift to check your roof system.

Flashing

DIFFICULT TO SEE EVERY FLASHING

I attempted to inspect the flashing related to the vent pipes, wall intersections, eaves and gables, and the roof-covering materials. In general, there should be flashing installed in certain areas where the roof covering meets something else, like a vent pipe or siding. Most flashing is not observable, because the flashing material itself is covered and hidden by the roof covering or other materials. So, it's impossible to see everything. A home inspection is a limited visual-only inspection.

Plumbing Vent Pipes

UNABLE TO REACH ALL THE PIPES

I was unable to closely reach and observe all of the vent pipes that pass through the roof-covering materials. This was an inspection restriction.

Flue Gas Vent Pipes

UNABLE TO REACH ALL THE FLUE GAS VENT PIPES

I was unable to closely reach and observe all of the flue gas vent pipes that pass through the roof-covering materials. This was an inspection restriction.

Gutters & Downspouts

COULDN'T REACH THE GUTTERS

I was unable to closely reach and closely inspect the installation of all of the gutter components and systems.

Recommendations

2.1.1 Roof Covering



Observations

TREE TOO CLOSE

I observed indications that a tree and or tree branch were overhanging the roof and maybe in contact with it.

Recommendation

Contact a qualified tree service company.



2.1.2 Roof Covering



Recommendations

PONDING

I observed indications of ponding in one or more areas of roof. Ponding or puddling of water concentrated in a particular area of the roof can lead to the deterioration and the roof leaking water. Recommend a qualified roofing contractor evaluate further and make any repairs deemed necessary.

Recommendation

Contact a qualified roofing professional.



3: EXTERIOR

Information

General: Homeowner's Responsibility

The exterior of your home is slowly deteriorating and aging. The sun, wind, rain and temperatures are constantly affecting it. Your job is to monitor the buildings exterior for its condition and weathertightness.

Check the condition of all exterior materials and look for developing patterns of damage or deterioration.

During a heavy rainstorm (without lightning), grab an umbrella and go outside. Walk around your house and look around at the roof and property. A rainstorm is the perfect time to see how the roof, downspouts and grading are performing. Observe the drainage patterns of your entire property, as well as the property of your neighbor. The ground around your house should slope away from all sides. Downspouts, surface gutters and drains should be directing water away from the foundation.

General: Exterior Was Inspected

I inspected the exterior of the house.

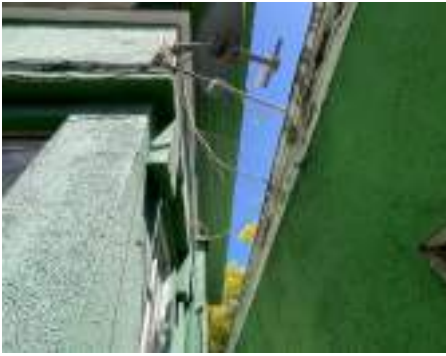




Eaves, Soffits & Fascia: Eaves, Soffits and Fascia Were Inspected

I inspected the eaves, soffits and fascia. I was not able to inspect every detail, since a home inspection is limited in its scope.





Wall-Covering, Flashing & Trim: Type of Wall-Covering Material Described

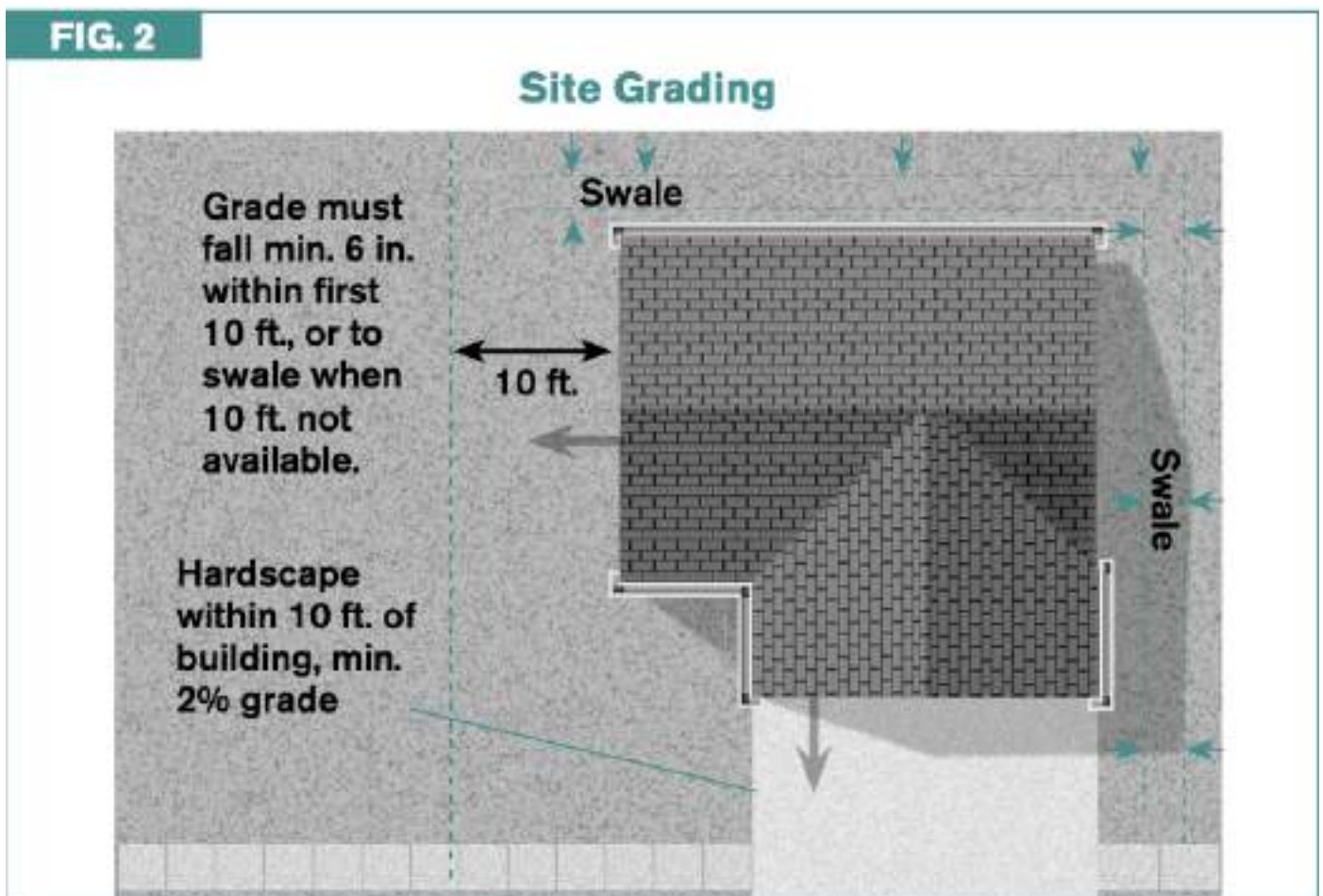
Stucco, Wood

The exterior of your home is slowly deteriorating and aging. The sun, wind, rain and temperatures are constantly affecting it. Your job is to monitor the house's exterior for its condition and weathertightness.

Check the condition of all exterior wall-covering materials and look for developing patterns of damage or deterioration.

Vegetation, Surface Drainage, Retaining Walls & Grading: Vegetation, Drainage, Walls & Grading Were Inspected

I inspected the vegetation, surface drainage, retaining walls and grading of the property, where they may adversely affect the structure due to moisture intrusion.





GFCIs & Electrical: Inspected GFCIs

I inspected ground-fault circuit interrupter receptacles and circuit breakers observed and deemed to be GFCIs using a GFCI tester, where possible.

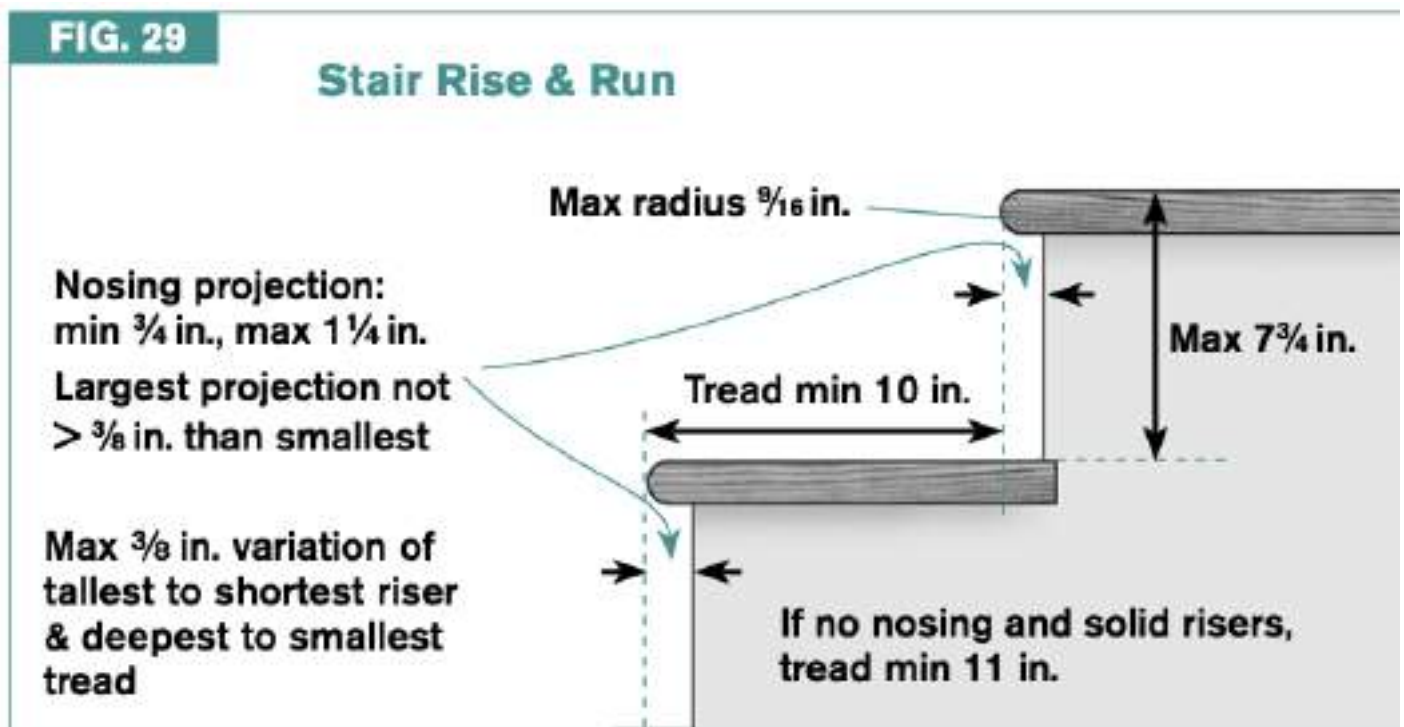
Walkways & Driveways: Walkways & Driveways Were Inspected

I inspected the walkways and driveways that were adjacent to the house. The walkways, driveways, and parking areas that were far away from the house foundation were not inspected.

Stairs, Steps, Stoops, Stairways & Ramps: Stairs, Steps, Stoops, Stairways & Ramps Were Inspected

I inspected the stairs, steps, stoops, stairways and ramps that were within the scope of my home inspection.

All treads should be level and secure. Riser heights and tread depths should be as uniform as possible. As a guide, stairs must have a maximum riser of 7-3/4 inches and a minimum tread of 10 inches.

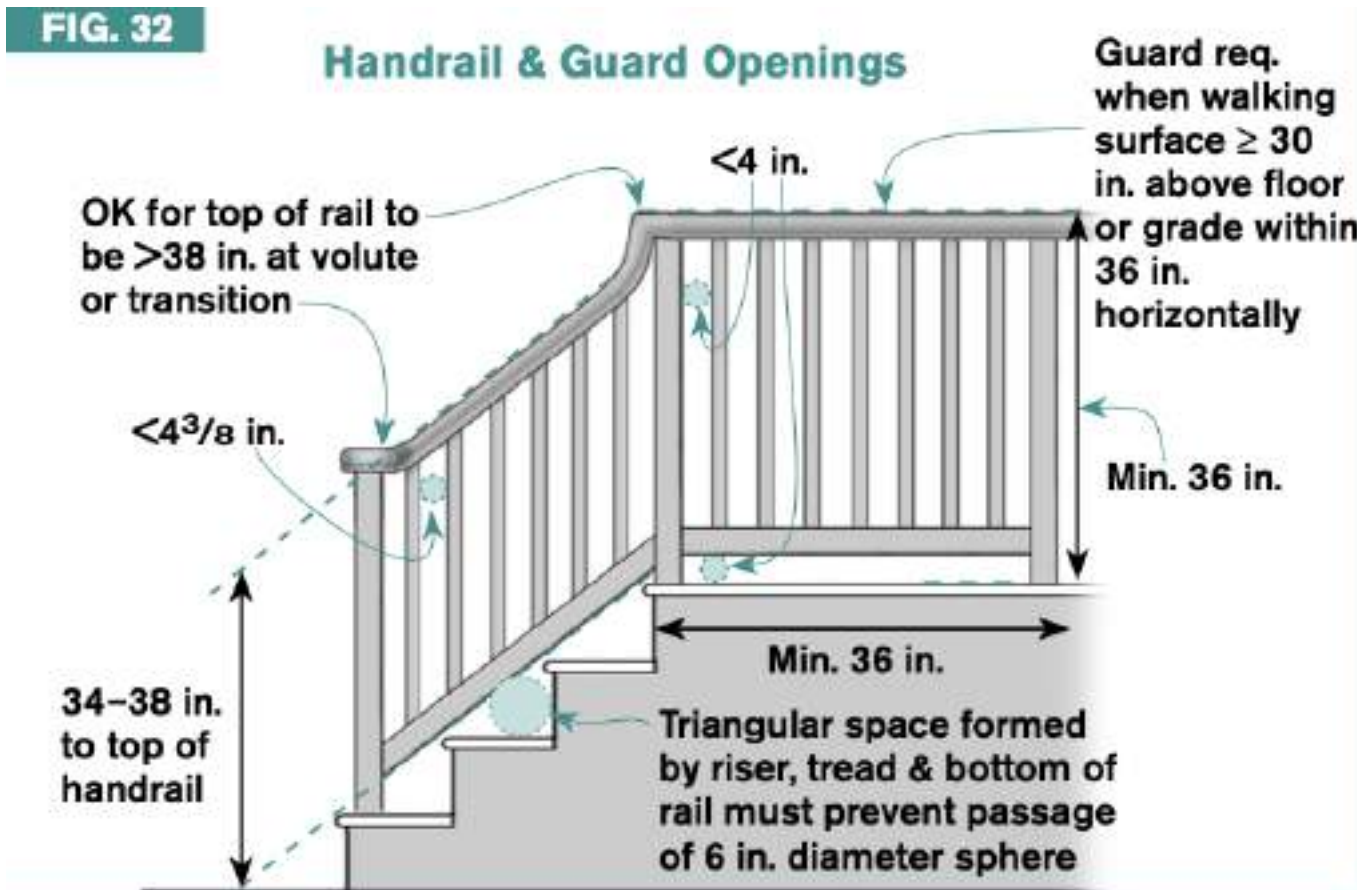


Porches, Patios, Decks, Balconies & Carports: Porches, Patios, Decks, Balconies & Carports Were Inspected

I inspected the porches, patios, decks, balconies and carports at the house that were within the scope of the home inspection.

Railings, Guards & Handrails: Railings, Guards & Handrails Were Inspected

I inspected the railings, guards and handrails that were within the scope of the home inspection.



Windows: Windows Inspected

A representative number of windows from the ground surface were inspected.





Exterior Doors: Exterior Doors Inspected

I inspected the exterior doors.



Limitations

Eaves, Soffits & Fascia

INSPECTION WAS RESTRICTED

I did not inspect all of the eaves, soffit, and fascia. It's impossible to inspect those areas closely during a home inspection. A home inspection is not an exhaustive evaluation. My inspection of the exterior was limited. I did not reach and access closely every part of the eaves, soffit, and fascia.

Wall-Covering, Flashing & Trim

INSPECTION WAS RESTRICTED

I did not inspect all of the exterior wall-covering material. A home inspection is not an exhaustive evaluation. My inspection of the exterior was limited. I did not reach and access closely every part of the exterior wall-covering.

GFCIs & Electrical

UNABLE TO INSPECT EVERYTHING

I was unable to inspect every electrical component or proper installation of the GFCI system according to modern code. A licensed electrician or township building code inspector could perform that type of test, which is beyond the scope of my visual-only home inspection. I inspected the electrical system as much as I could according to the Home Inspection Standards of Practice.

Windows

INSPECTION RESTRICTED

I did not inspect all windows. I did inspect a representative number of them. It's impossible to inspect every window component closely during a home inspection. A home inspection is not an exhaustive evaluation. I did not reach and access closely every window, particularly those above the first floor level.

Recommendations

3.2.1 Eaves, Soffits & Fascia

**PAINT SURFACE IN POOR CONDITION**

I observed indications of paint or staining in poor condition. Flaking, cracking, and worn areas.

Correction and further evaluation is recommended.

Recommendation

Contact a qualified painting contractor.



3.3.1 Wall-Covering, Flashing & Trim

**DAMAGED WALL-COVERING MATERIAL**

I observed indications of a defect at the exterior wall-covering material.

Correction and further evaluation is recommended.

Recommendation

Contact a qualified professional.



3.3.2 Wall-Covering, Flashing & Trim



Observations

CRACKING

Siding showed cracking in one or more places. Recommend monitoring.

Recommendation

Recommended DIY Project



3.3.3 Wall-Covering, Flashing & Trim



Observations

INADEQUATE SEALING

I noted in one or more locations there were gaps in the siding, I recommend sealing all gaps to prevent moisture and pest intrusion.

Recommendation

Contact a qualified professional.



3.5.1 GFCIs & Electrical



Recommendations

MISSING GFCI

I observed indications that a GFCI is missing in an area that is required to keep people safe.

Recommendation

Contact a qualified electrical contractor.



3.5.2 GFCIs & Electrical



Observations

LOOSE WIRES

I noted loose wires on the exterior, recommend securing.

Recommendation

Contact a qualified professional.



3.6.1 Walkways & Driveways



Recommendations

TRIP HAZARD

I observed a trip hazard. This condition is a safety concern.

Correction and further evaluation is recommended.

Recommendation

Contact a handyman or DIY project



3.9.1 Railings, Guards & Handrails



Recommendations

HANDRAIL NOT GRASPABLE

I observed a handrail that is not grippable or graspable. This condition is a safety hazard.

Correction and further evaluation is recommended.

Recommendation

Contact a qualified handyman.



3.9.2 Railings, Guards & Handrails



Recommendations

WDO DAMAGE NOTED

I was able to see some damage possibly caused by WDO. I recommend having the damage repaired.

Recommendation

Contact a qualified professional.



3.10.1 Windows



Recommendations

WOOD ROT AT WINDOW

I observed indications of wood rot at the window.

Correction and further evaluation is recommended.

Recommendation

Contact a qualified handyman.



3.10.2 Windows

**WINDOW TRIM DAMAGED**

I noted some damage to the trim around one or more windows, recommend repair to prevent progression and further deterioration of the trim piece.

Recommendation

Contact a qualified professional.



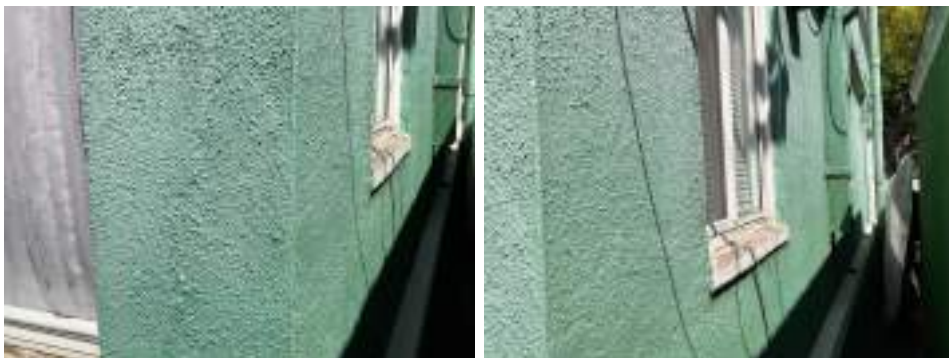
3.10.3 Windows

**WORN FINISH AT WINDOW SIL**

I noted the finish was worn an one or more window sills. Recommend refinishing to extend t he life of the substrate.

Recommendation

Contact a qualified professional.



3.10.4 Windows

**POSSIBLE MICROBIAL GROWTH**

I noted possible microbial growth at one or more windows, recommend further testing and evaluation.

Recommendation

Contact a qualified professional.



4: DETACHED GARAGE

Information

Garage Vehicle Door: Type of Door Operation

Manual



Electric in the Garage: Inspected visible electrical components in garage

Exterior Door: Exterior Doors Inspected

I inspected the exterior doors of the detached garage.



Roof Covering: Homeowner's Responsibility

Your job as the homeowner is to monitor the roof covering because any roof can leak. To monitor a roof that is inaccessible or that cannot be walked on safely, use binoculars. Look for deteriorating or loosening of flashing, signs of damage to the roof covering and debris that can clog valleys and gutters.

Roofs are designed to be water-resistant. Roofs are not designed to be waterproof. Eventually, the roof system will leak. No one can predict when, where or how a roof will leak.

Roof Covering: Type of Roof-Covering Described

Asphalt

I observed the roof-covering material and attempted to identify its type.

This inspection is not a guarantee that a roof leak in the future will not happen. Roofs leak. Even a roof that appears to be in good, functional condition will leak under certain circumstances. We will not take responsibility for a roof leak that happens in the future. This is not a warranty or guarantee of the roof system.



Roof Flashing: Eaves and Gables

I looked for flashing installed at the eaves (near the gutter edge) and at the gables (the diagonal edge of the roof).

There should be metal drip flashing material installed in these locations. The flashing helps the surface water on the roof to discharge into the gutter. Flashing also helps to prevent water intrusion under the roof-covering.



Wall-Covering, Flashing & Trim: Type of Wall-Covering Material Described

Stucco

The exterior of your home is slowly deteriorating and aging. The sun, wind, rain and temperatures are constantly affecting it. Your job is to monitor the house's exterior for its condition and weather tightness.

Check the condition of all exterior wall-covering materials and look for developing patterns of damage or deterioration.

Ceiling & Walls in Garage: Garage Ceiling & Walls Were Inspected

I inspected the ceiling and walls of the detached garage according to the Home Inspection Standards of Practice.



Garage Floor: Garage Floor Inspected

I inspected the floor of the garage.



Limitations

Roof Covering

UNABLE TO SEE EVERYTHING

This is a visual-only inspection of the roof-covering materials. It does not include an inspection of the entire system. There are components of the roof that are not visible or accessible at all, including the underlayment, decking, fastening, flashing, age, shingle quality, manufacturer installation recommendations, etc.

Roof Covering

UNABLE TO WALK UPON ROOF SURFACE

According to the Home Inspection Standards of Practice, a home inspector is not required to walk upon any roof surface. However, as courtesy only, I attempted to walk upon the roof surface, but was unable. It was not safe. It was not accessible. This was a restriction to my inspection of the roof system. You may want to consider hiring a professional roofer with a lift to check your roof system.

Roof Flashing

DIFFICULT TO SEE EVERY FLASHING

I attempted to inspect the flashing related to the vent pipes, wall intersections, eaves and gables, and the roof-covering materials. In general, there should be flashing installed in certain areas where the roof covering meets something else, like a vent pipe or siding. Most flashing is not observable, because the flashing material itself is covered and hidden by the roof covering or other materials. So, it's impossible to see everything. A home inspection is a limited visual-only inspection.

Wall-Covering, Flashing & Trim

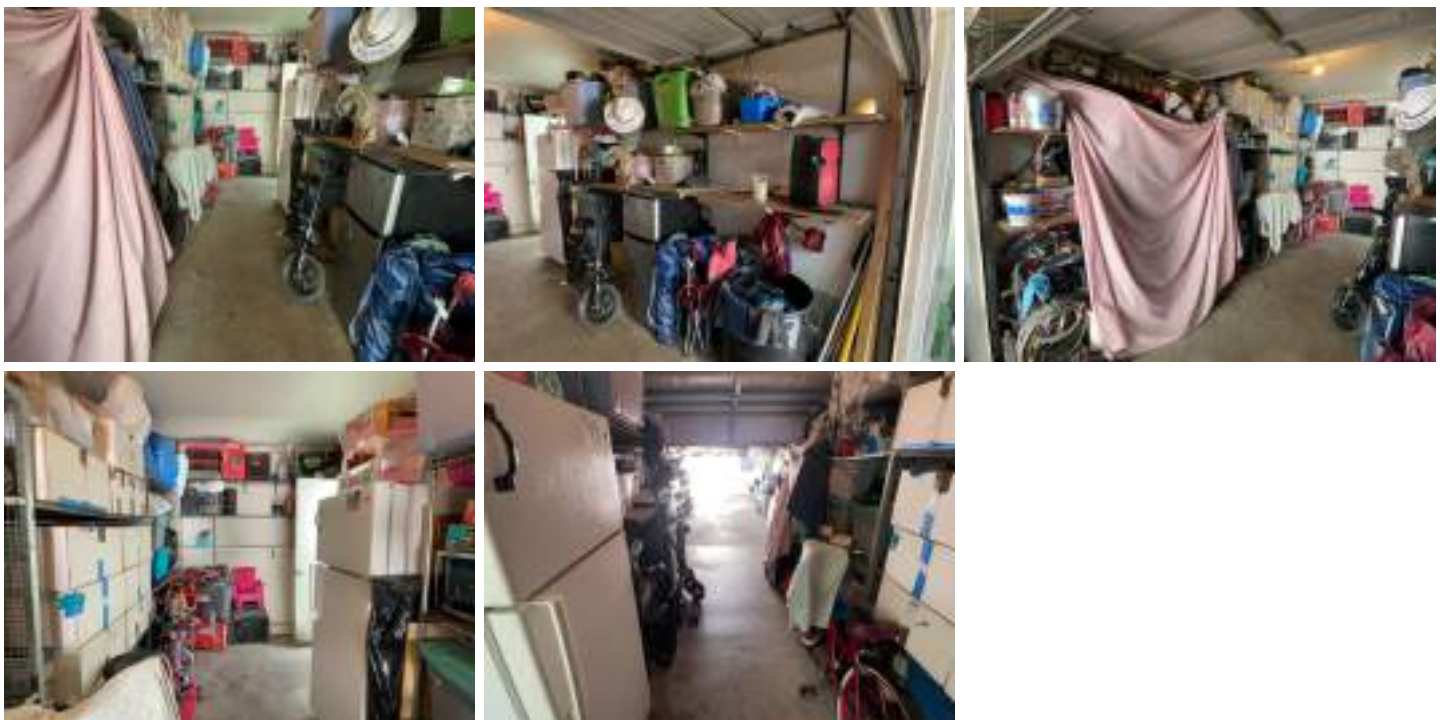
INSPECTION WAS RESTRICTED

I did not inspect all of the exterior wall-covering material. A home inspection is not an exhaustive evaluation. My inspection of the exterior was limited. I did not reach and access closely every part of the exterior wall-covering.

Ceiling & Walls in Garage

CAN'T SEE EVERYTHING

I can not observe everything. Inspection restrictions. My inspection was limited.

**Recommendations**

4.1.1 Roof Covering



Recommendations

EXPOSED FASTENERS

I observed indications of exposed fasteners at the roof-covering materials. Fasteners should not be exposed. Potential water entry points. Roof could leak. Further evaluation and correction is recommended.

Recommendation

Contact a qualified roofing professional.



4.9.1 Exterior Door



Observations

WOOD ROT AT DOOR

I observed wood rot at the exterior door.

Correction and further evaluation is recommended.

Recommendation

Contact a qualified professional.



5: ELECTRICAL

Information

Electric Meter & Base: Inspected the Electric Meter & Base

I inspected the electrical electric meter and base.



Service-Entrance Conductors: Inspected Service-Entrance Conductors

I inspected the electrical service-entrance conductors.

Main Service Disconnect: Inspected Main Service Disconnect

I inspected the electrical main service disconnect.



Electrical Wiring: Type of Wiring, If Visible

NM-B (Romex)



Main Service Disconnect: Homeowner's Responsibility

It's your job to know where the main electrical panel is located, including the main service disconnect that turns everything off.

Be sure to test your GFCIs, AFCIs, and smoke detectors regularly. You can replace light bulbs, but more than that, you ought to hire an electrician. Electrical work is hazardous and mistakes can be fatal. Hire a professional whenever there's an electrical problem in your house.

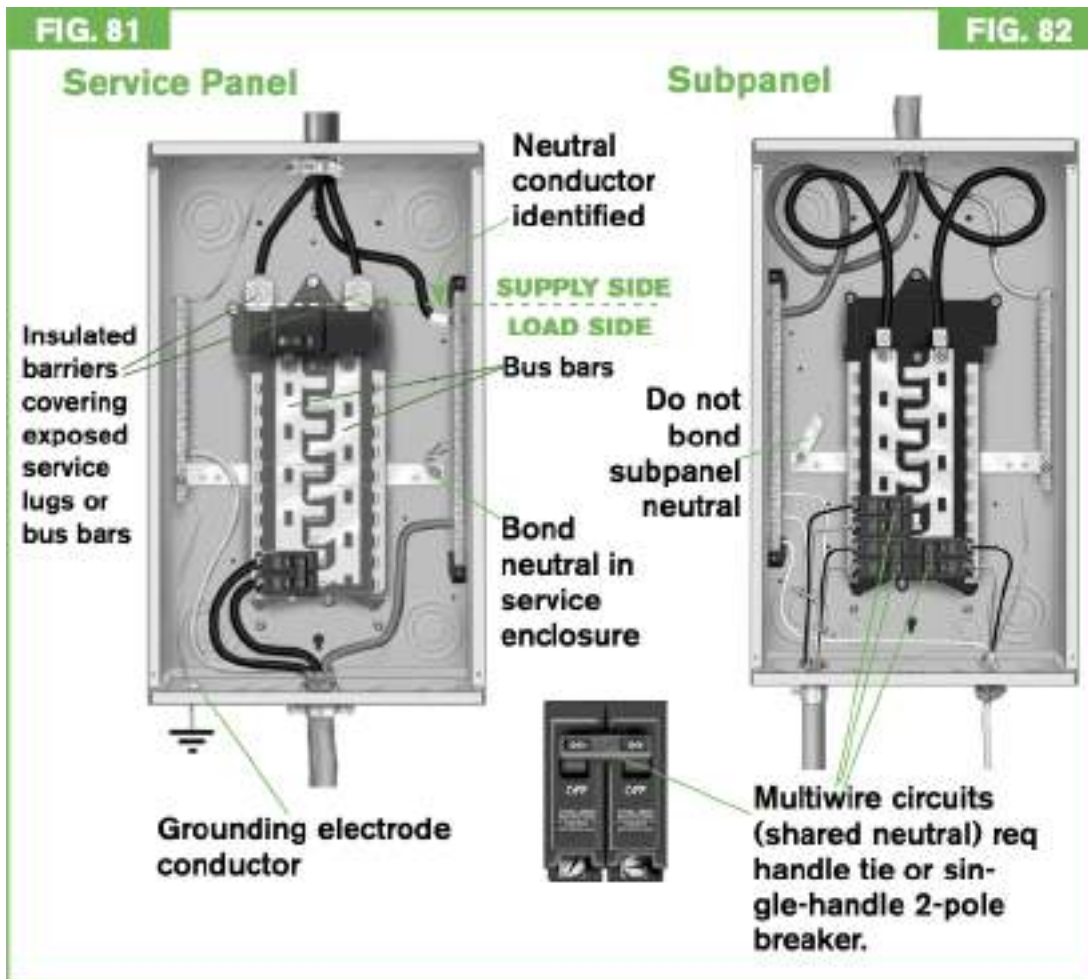
Main Service Disconnect: Main Disconnect Rating, If Labeled

100

I observed indications of the main service disconnect's amperage rating. It was labeled.

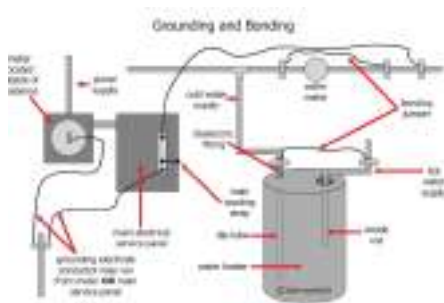
Panelboards & Breakers: Inspected Main Panelboard & Breakers

I inspected the electrical panelboards and over-current protection devices (circuit breakers and fuses).



Service Grounding & Bonding: Inspected the Service Grounding & Bonding

I inspected the electrical service grounding and bonding.



GFCIs: Inspected GFCIs

I inspected ground-fault circuit interrupter receptacles and circuit breakers observed and deemed to be GFCIs using a GFCI tester, where possible.

For more information on GFCI protected outlets read this [Article](#)

Limitations

Panelboards & Breakers

UNABLE TO LOCATE THE SUB PANEL FOR THE UNIT

We were unable to locate the sub panel for the unit, it is most likely hidden behind some furniture or a mirror.

Service Grounding & Bonding

UNABLE TO CONFIRM PROPER GROUNDING AND BONDING

I was unable to confirm proper installation of the system grounding and bonding according to modern code. A licensed electrician or township building code inspector could perform that type of test, which is beyond the scope of my visual-only home inspection. I inspected the grounding and bonding as much as I could according to the Home Inspection Standards of Practice.

GFCIs

UNABLE TO INSPECT EVERYTHING

I was unable to inspect every electrical component or proper installation of the GFCI system according to modern code. A licensed electrician or township building code inspector could perform that type of test, which is beyond the scope of my visual-only home inspection. I inspected the electrical system as much as I could according to the Home Inspection Standards of Practice.

Recommendations

5.5.1 Service Grounding & Bonding

GROUND ROD NOT FLUSH

I observed indications that the grounding rod is not flush with or below grade level.

Recommendation

Contact a qualified electrical contractor.



Recommendations



5.8.1 Electrical Defects



Recommendations

MISSING JUNCTION BOX COVER

I observed one or more missing junction box covers, this is a shock hazard, recommend correction by a licensed electrician

Recommendation

Contact a qualified electrical contractor.



5.8.2 Electrical Defects



Recommendations

EXPOSED WIRING

I noted exposed wires, recommend further evaluation and correction by a licensed electrician.

Recommendation

Contact a qualified professional.



6: PLUMBING

Information

Main Water Shut-Off Valve:
Location of Main Shut-Off Valve
 Outside of House



Main Fuel Supply Shut-Off Valve:
Location of Main Shut-Off Valve
 Side of House



Hot Water Source: Inspected Venting Connections

I inspected the venting connections.



Hot Water Source: Estimated Water heater age
 2003, 2023 years

Hot Water Source: Inspected Seismic Bracing

I inspected the seismic bracing for the hot water tank.



Drain, Waste, & Vent Systems: Type of drain line material observed
 ABS

Water Supply & Distribution Systems: Type of plumbing material observed

Copper

Main Water Shut-Off Valve: Homeowner's Responsibility

It's your job to know where the main water and fuel shutoff valves are located. And be sure to keep an eye out for any water and plumbing leaks.

Water Supply : Water Supply Is Public

The water supply to the house appeared to be from the public water supply source based upon the observed indications at the time of the inspection. To confirm and be certain, I recommend asking the homeowner for details.

Hot Water Source: Type of Hot Water Source

Gas-Fired Hot Water Tank

I inspected for the main source of the distributed hot water to the plumbing fixtures (sinks, tubs, showers). I recommend asking the homeowner for details about the hot water equipment and past performance.



Hot Water Source: Inspected TPR Valve

I inspected the temperature and pressure relief valve.



Hot Water Source: Inspected Hot Water Source

I inspected the hot water source and equipment according to the [Home Inspection Standards of Practice](#).





Hot Water Source: Water Heater Maintenance tips

Water heaters require maintenance, either by a licensed plumber or by a handy home owner. I have included a couple videos showing you how to maintain your hot water heater.

[Tankless water heater yearly maintenance and tips](#)

[Conventional Water heater maintenance and tips](#)

Drain, Waste, & Vent Systems: Inspected Drain, Waste, Vent Pipes

I attempted to inspect the drain, waste, and vent pipes. Not all of the pipes and components were accessible and observed. Inspection restriction. Ask the homeowner about water and sewer leaks or blockages in the past.



Water Supply & Distribution Systems: Inspected Water Supply & Distribution Pipes

I attempted to inspect the water supply and distribution pipes (plumbing pipes). Not all of the pipes and components were accessible and observed. Inspection restriction. Ask the homeowner about water supply, problems with water supply, and water leaks in the past.



Limitations

Drain, Waste, & Vent Systems

NOT ALL PIPES WERE INSPECTED

The inspection was restricted because not all of the pipes were exposed, readily accessible, and or able to be observed Through our inspection techniques. For example, most of the drainage pipes were hidden within the walls or in inaccessible areas.

Water Supply & Distribution Systems

NOT ALL PIPES WERE INSPECTED

The inspection was restricted because not all of the water supply pipes were exposed, readily accessible, and observed. We were unable to view all the pipe connections and are unable to determine the installation of dielectric fittings if applicable. For example, most of the water distribution pipes, valves and connections were hidden within the walls Or in inaccessible areas of the crawlspace if present.

Recommendations

6.3.1 Main Fuel Supply Shut-Off Valve

CORROSION AT RIGID GAS LINE

I noted corrosion at one or more gas lines ,recommend repair to prevent future gas leaks.



6.4.1 Hot Water Source

MISSING SEDEMENT TRAP

The gas feed line should have a sediment trap before the shutoff valve, recommend correction by a licensed plumber.



Recommendation
Contact a qualified professional.



6.4.2 Hot Water Source

 Recommendations

WATER HEATER FLUE IMPROPER

The water heater flue was not installed correctly, recommend further review and correction by a licensed plumber.

Recommendation

Contact a qualified professional.



6.4.3 Hot Water Source

 Observations

WATER HEATER ENCLOSURE DAMAGED

I noted some damage to the water heater enclosure, recommend correction.

Recommendation

Contact a qualified professional.



6.4.4 Hot Water Source

 Observations

COVER WON'T FIT ON WATER HEATER

I noted a cover does not fit on the water heater, recommend further review by a licensed plumber

Recommendation

Contact a qualified professional.



6.5.1 Drain, Waste, & Vent Systems

POSSIBLE ABANDONED PIPE

I noted what could be an abandoned cast iron plumbing pipe, recommend contacting the current owners.

Recommendation

Contact a qualified professional.



6.6.1 Water Supply & Distribution Systems

SUPPLY LINE CORROSION

I noted some corrosion on a water supply Line, this can contribute to leaks. Recommend further evaluation and correction. By a qualified plumber.

Recommendation

Contact a qualified professional.



7: HEATING

Information

Heating System Information:

Heating Method

Warm-Air Heating System



Thermostat and Normal

Operating Controls: Thermostat

Location

Hallway



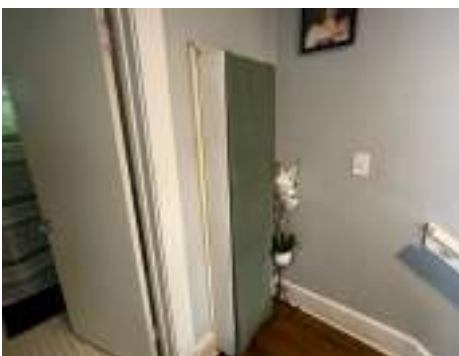
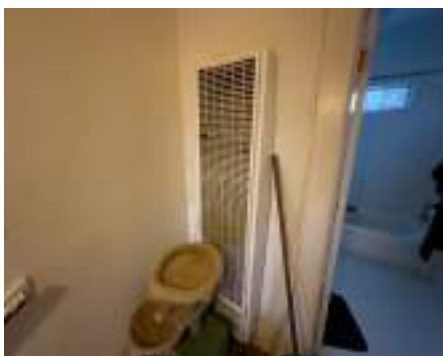
Heating System Information: Homeowner's Responsibility

Most HVAC (heating, ventilating and air-conditioning) systems in houses are relatively simple in design and operation. They consist of four components: controls, fuel supply, heating or cooling unit, and distribution system. The adequacy of heating and cooling is often quite subjective and depends upon occupant perceptions that are affected by the distribution of air, the location of return-air vents, air velocity, the sound of the system in operation, and similar characteristics.

It's your job to get the HVAC system inspected and serviced every year. And if you're system as an air filter, be sure to keep that filter cleaned.

Heating System Information: Energy Source

Gas



Limitations

Heating System Information

UNABLE TO OPERATE THE HEATING SYSTEM

I was unable to operate the heating system due to the gas being turned off.



8: ATTIC, INSULATION & VENTILATION

Information

Structural Components & Observations in Attic: Attic access location

Hallway ceiling

Structural Components & Observations in Attic: Method used to inspect the attic

From the attic hatch

Insulation in Attic: Type of Insulation Observed

Fiberglass

Structural Components & Observations in Attic: Structural Components Were Inspected

Structural components were inspected from the attic space according to the [Home Inspection Standards of Practice](#).



Insulation in Attic: Insulation Was Inspected

During the home inspection, I inspected for insulation in unfinished spaces, including attics, crawlspaces and foundation areas. I inspected for ventilation of unfinished spaces, including attics, crawlspaces and foundation areas. And I inspected mechanical exhaust systems in the kitchen, bathrooms and laundry area.

I attempted to describe the type of insulation observed and the approximate average depth of insulation observed at the unfinished attic floor area or roof structure.

I reported as in need of correction the general absence of insulation or ventilation in unfinished spaces.



Insulation in Attic: Approximate Average Depth of Insulation

6-9 inches

Determining how much insulation should be installed in a house depends upon where a home is located. The amount of insulation that should be installed at a particular area of a house is dependent upon which climate zone the house is located and the local building codes.

Limitations

Structural Components & Observations in Attic

COULD NOT SEE EVERYTHING IN ATTIC

I could not see and inspect everything in the attic space. The access is restricted and my inspection is limited.

Recommendations

8.1.1 Structural Components & Observations in Attic



Recommendations

PRIOR WATER PENETRATION OBSERVED

I observed indications that sometime in the past there was water penetration or intrusion into the attic. Water marks were observed. Correction and further evaluation is recommended.

Recommendation

Recommend monitoring.



9: BATHROOMS

Information

Bathroom Toilets: Toilets Inspected

I attempted to flush all the toilets.



Sinks, Tubs & Showers: Ran Water at Sinks, Tubs & Showers

I ran water at all bathroom sinks, bathtubs, and showers. I inspected for deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously.





GFCI & Electric in Bathroom: GFCI-Protection Tested

I inspected the GFCI-protection at the receptacle near the bathroom sink by pushing the test button at the GFCI device or using a GFCI testing instrument.

All receptacles in the bathroom must be GFCI protected.

For more information on GFCI outlets read my [article](#).



Bathroom Exhaust Fan / Window: Inspected Bath Exhaust Fans

I inspected the exhaust fans of the bathroom(s). All mechanical exhaust fans should terminate outside. Confirming that the fan exhausts outside is beyond the scope of a home inspection.

For more information on bathroom exhaust fans and why they are important read my [article here](#).



Cabinetry, Ceiling, Walls & Floor: I inspected the readily visible area and components of the bathroom



Recommendations

9.2.1 Sinks, Tubs & Showers

MISSING TUB STOPPER

I noted a missing tub stopper, I recommend installing one.

Recommendation

Contact a handyman or DIY project



Recommendations



9.2.2 Sinks, Tubs & Showers

LOOSE FIXTURE

I observed indications that the fixture is loose. Not secure. Not installed properly. Loose.

Recommendation

Contact a qualified plumbing contractor.



Observations



9.2.3 Sinks, Tubs & Showers

APPARENT MICROBIAL GROWTH

I noted some apparent microbial growth in the shower, recommend removing the growth with the appropriate cleaning solution.

Recommendation

Contact a qualified professional.



Recommendations



9.3.1 GFCI & Electric in Bathroom

Recommendations

MISSING GFCI PROTECTION

The bathrooms did not have GFCI protection installed. I recommend having GFCI outlets installed for safety

Recommendation

Contact a qualified professional.



9.4.1 Bathroom Exhaust Fan / Window

Observations

MISSING FAN

I observed that the bathroom does not have a mechanical exhaust fan installed.

Regardless of what kind of ventilation system may be installed for the rest of the house, exhaust fans are recommended in the bathrooms to remove excess moisture, cleaning chemical fumes, etc. The fan should be ducted to exhaust outside of the home.

For more information on bathroom fans take a look at this [Article](#)

Recommendation

Contact a qualified general contractor.



9.4.2 Bathroom Exhaust Fan / Window

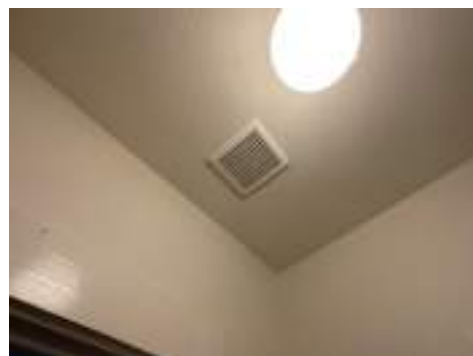
Recommendations

BATH FAN DID NOT TURN ON

I observed that the bathroom exhaust fan did not turn on as expected.

Recommendation

Contact a qualified handyman.



9.5.1 Cabinetry, Ceiling, Walls & Floor



Recommendations

MOISTURE DAMAGE-BATHROOM WALL

I noted an area of moisture damage in the bathroom wall, I recommend correction to prevent further degradation of the material.

Recommendation

Contact a qualified professional.



9.5.2 Cabinetry, Ceiling, Walls & Floor



Recommendations

CRACKED TILE

I noted one or more cracked tiles in the bathroom, I recommend repair to prevent moisture intrusion past the tile and into the wall/floor.

Recommendation

Contact a qualified professional.



10: DOORS, WINDOWS & INTERIOR

Information

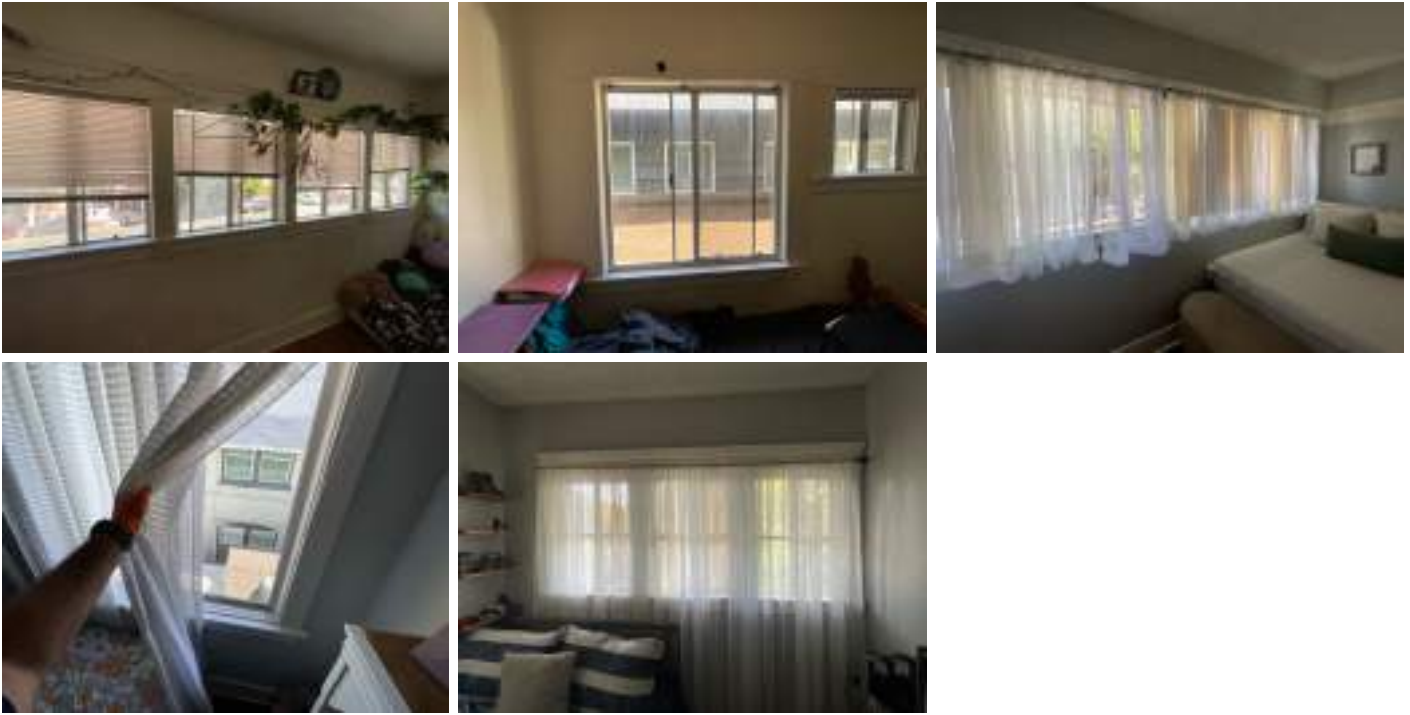
Doors: Interior Doors Inspected

I inspected a representative number of doors according to the [Home Inspection Standards of Practice](#) by opening and closing them. I did not operate door locks and door stops, which is beyond the scope of a home inspection.



Windows: Windows Inspected

I inspected a representative number of windows according to the [Home Inspection Standards of Practice](#) by opening and closing them. I did not operate window locks and operation features, which is beyond the scope of a home inspection.



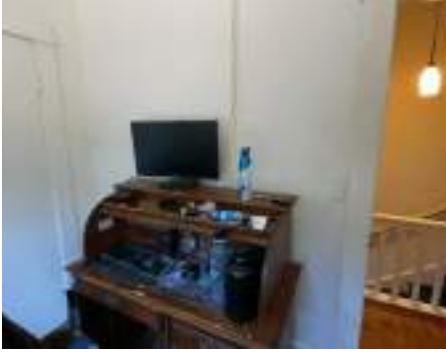
Switches, Fixtures & Receptacles: Inspected a Switches, Fixtures & Receptacles

I inspected a representative number of switches, lighting fixtures and receptacles.



Floors, Walls, Ceilings: Floors, Walls, Ceilings Inspected

I inspected the readily visible surfaces of floors, walls and ceilings. I looked for material defects according to the [Home Inspection Standards of Practice](#).



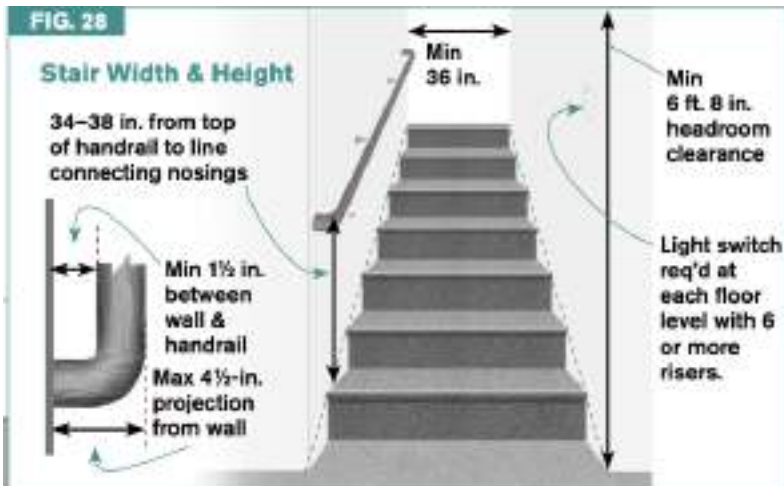
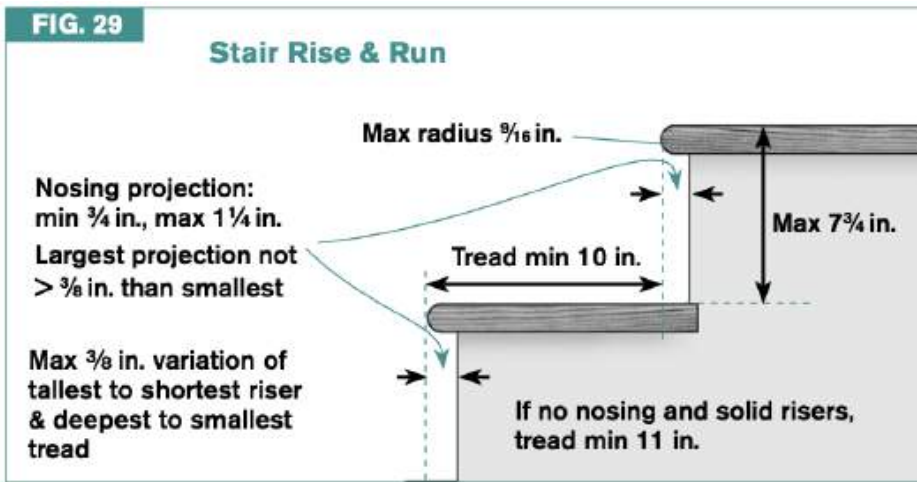




Stairs, Steps, Stoops, Stairways & Ramps: Stairs, Steps, Stoops, Stairways & Ramps Were Inspected

I inspected the stairs, steps, stoops, stairways and ramps that were within the scope of my home inspection.

All treads should be level and secure. Riser heights and tread depths should be as uniform as possible. As a guide, stairs must have a maximum riser of 7-3/4 inches and a minimum tread of 10 inches.



Railings, Guards & Handrails: Railings, Guards & Handrails Were Inspected

I inspected a representative number railings, guards and handrails that were within the scope of the home inspection.



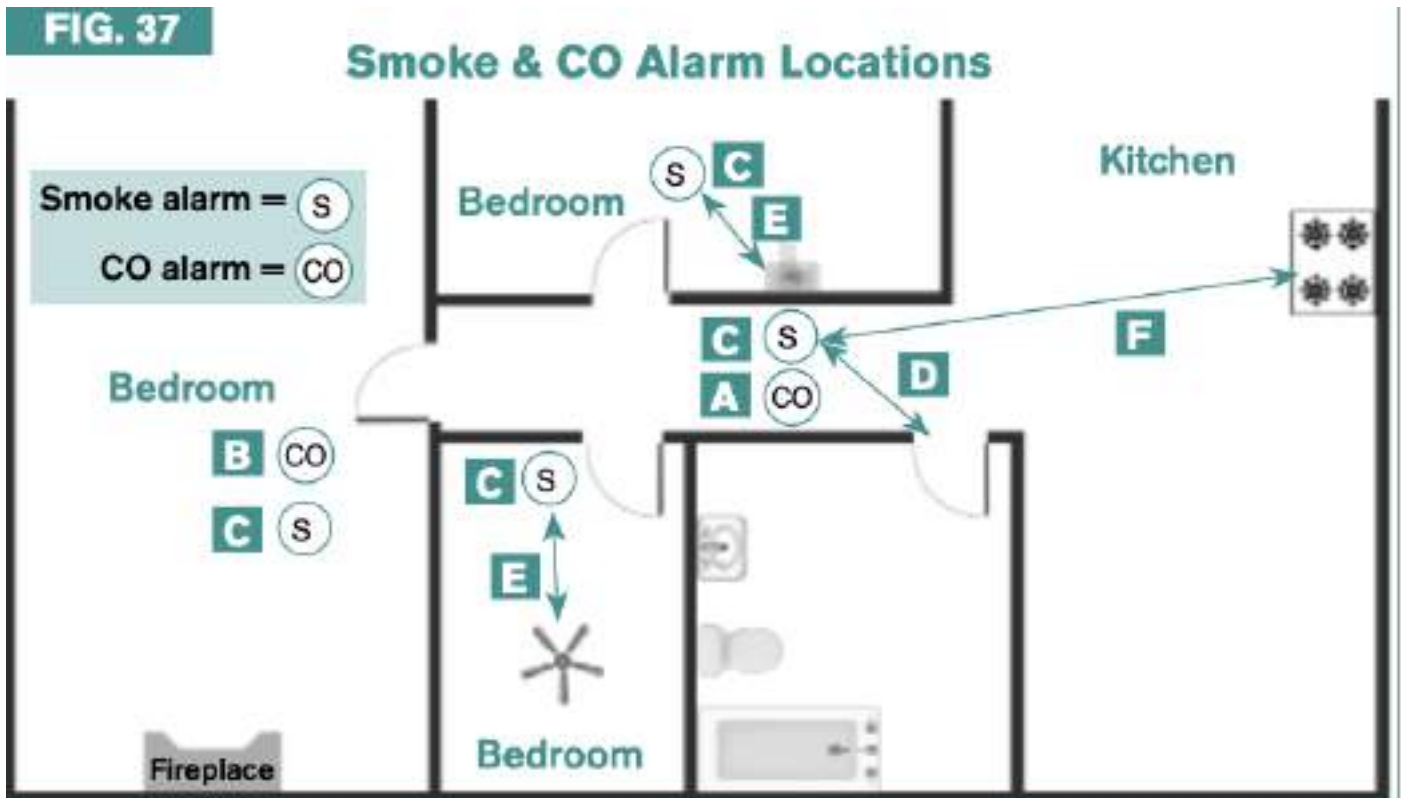
Presence of Smoke and CO Detectors: Inspected for Presence of Smoke and CO Detectors

I inspected for the presence of smoke and carbon-monoxide detectors.

There should be a smoke detector in every sleeping room, outside of every sleeping room, and one every level of a house.

All required smoke detectors were present unless otherwise noted in the section below.

For more information on smoke alarms read my article [here](#).





Limitations

Switches, Fixtures & Receptacles

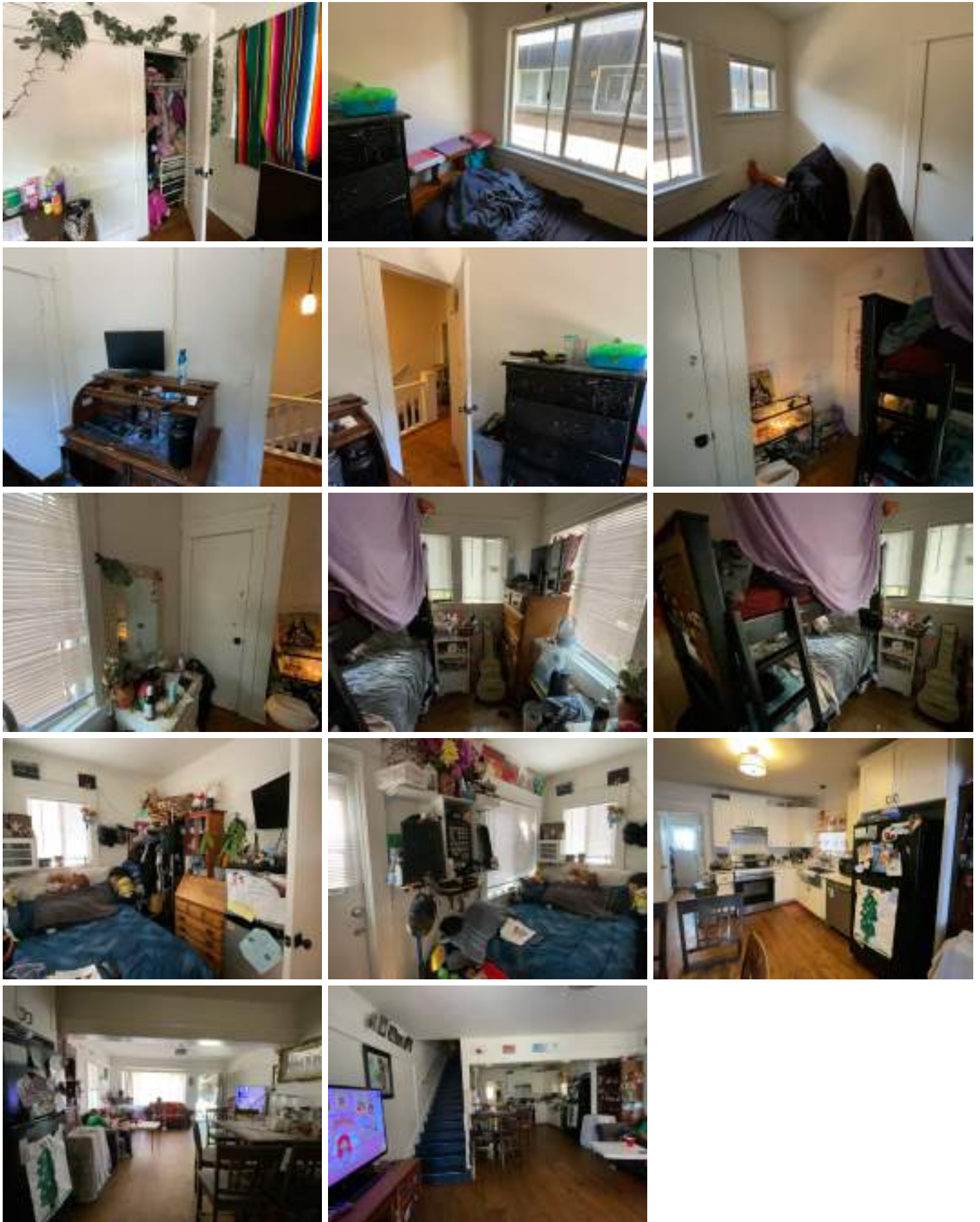
UNABLE TO INSPECT EVERYTHING

I was unable to inspect every electrical component or proper installation of the system according to modern code. A licensed electrician or township building code inspector could perform that type of test, which is beyond the scope of my visual-only home inspection. I inspected the electrical system as much as I could according to the Home Inspection Standards of Practice.

Floors, Walls, Ceilings

UNABLE TO SEE EVERYTHING

I was unable to observe the entire interior due to the occupants belongings.



Presence of Smoke and CO Detectors

UNABLE TO TEST EVERY DETECTOR

I was unable to test every detector. We recommend testing all of the detectors. Ask the seller about the performance of the detectors and of any issues regarding them. We recommend replacing all of the detectors (smoke and carbon monoxide) with new ones just for peace of mind and for safety concerns.

Recommendations

10.2.1 Windows

APPARENT MOLD GROWTH AT ONE OR MORE WINDOWS/ SKYLIGHTS

I observed apparent mold growth at one or more windows at the time of the inspection. I recommend testing the substance to either confirm or deny the presence of mold.

Recommendation

Contact a qualified professional.



Recommendations



10.3.1 Switches, Fixtures & Receptacles

MISSING GROUND AT RECEPTACLE

I observed indications of a missing, open, or disconnected ground at a receptacle. Hazard.

Recommendation

Contact a qualified electrical contractor.



Recommendations



10.3.2 Switches, Fixtures & Receptacles

 Recommendations

LOOSE RECEPTACLE


I observed indications of a loosely connected receptacle. Not secured to the wall. Defect.

Recommendation

Contact a qualified electrical contractor.



10.4.1 Floors, Walls, Ceilings

 Observations

MINOR INTERIOR DAMAGE

Minor damage or deterioration to the interior was visible at the time of the inspection. Recommend repair.

Recommendation

Contact a qualified general contractor.



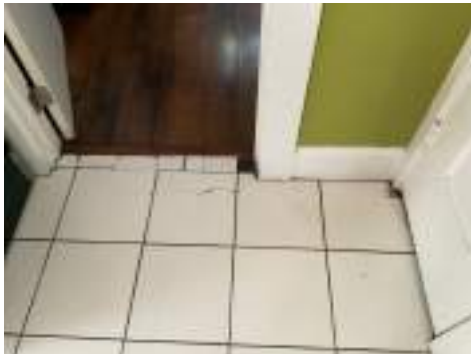
10.4.2 Floors, Walls, Ceilings

DAMAGED FLOORING

I noted some damage to the flooring material, recommend correction.

Recommendation

Contact a qualified professional.



10.4.3 Floors, Walls, Ceilings

STAIN(S) ON CEILING

There is a stain on ceiling/wall that requires repair and paint. Source of staining should be determined.

Recommendation

Contact a qualified professional.



10.5.1 Stairs, Steps, Stoops, Stairways & Ramps

**HEADROOM AT STAIRWAY TOO LOW (6' 8")**

I observed that the headroom at the stairs is too low. The minimum is 6 feet and 8 inches.

Recommendation

Contact a qualified professional.



10.6.1 Railings, Guards & Handrails

**IMPROPER GUARDRAIL HEIGHT (NOT 36")**

I observed indications of a defect related to the height of a guardrail.

Guardrails are normally required to be 36 inches above standing surface next to the guardrail.

Correction and further evaluation is recommended.

Recommendation

Contact a qualified carpenter.



10.7.1 Presence of Smoke and CO Detectors

**MISSING SMOKE DETECTOR**

I observed indications of a missing smoke detector in an area required to keep people safe. Smoke detectors should be in every sleeping area, outside each sleeping area, and on every level of the home.

For more information on smoke detectors read this [Article](#).

Recommendation

Contact a qualified professional.



11: KITCHEN

Information

Range/Oven/Cooktop: Turned On
cooking appliance.

I turned on the kitchen's stove
and or oven



Range/Oven/Cooktop: Verified
Stove and Oven are OFF



Kitchen Sink: Ran Water at Kitchen Sink

I ran water at the kitchen sink.



GFCI: GFCI Tested

I inspected and tested for GFCI protection in the kitchen.





Dishwasher: Inspected Dishwasher

I inspected the dishwasher visually. If there were no belongings inside, I operated the dishwasher to check for leaks. A full functional check is beyond the scope of a home inspection.



Refrigerator: Refrigerator Was On

I checked to see if the refrigerator was on. It was. That's all I inspected in relation to a refrigerator. Refrigerators are beyond the scope of a home inspection.



Exhaust Fan: Inspected Exhaust Fan

I inspected the exhaust fan in the kitchen. All mechanical exhaust fans should terminate outside. Confirming that the fan exhausts outside is beyond the scope of a home inspection.



Countertops & Cabinets: Inspected Cabinets & Countertops

I inspected a representative number of cabinets and countertop surfaces.



Recommendations

11.2.1 GFCI

MISSING GFCI PROTECTION



I observed indications of missing GFCI protection in the kitchen. All kitchen counter/ island receptacles are required to be GFCI protected. I recommend contacting a licensed electrician to install GFCI receptacles.

Recommendation

Contact a qualified electrical contractor.



11.2.2 GFCI

MISSING GFCI UNDER SINK



I observed a missing GFCI outlet under the sink. This is a significant safety issue. I recommend correction by a licensed electrician.

Recommendation

Contact a qualified electrical contractor.



11.2.3 GFCI



Recommendations

DAMAGED GFCI OUTLET

I noted some damage to a GFCI outlet, recommend replacement.

Recommendation

Contact a qualified professional.



11.3.1 Dishwasher



Recommendations

DISHWASHER DID NOT DISPENSE WATER

I noted the dishwasher did not dispense water, recommend further review and correction.

Recommendation

Contact a qualified professional.



12: BASEMENT, FOUNDATION, CRAWLSPACE & STRUCTURE

Information

Under-Floor Crawlspace: Under-Floor Crawl Access Location

Exterior



Under-Floor Crawlspace: Homeowner's Responsibility

One of the most common problems in a house with a crawlspace is water intrusion, condensation, and excessively high humidity levels. You should monitor the walls and floors for signs of water penetration, such as dampness, water stains, efflorescence, and rust on exposed metal parts. Water may come through the walls or cracks in the floor, or from backed-up floor drains, leaky plumbing lines, or a clogged air-conditioner condensate line.

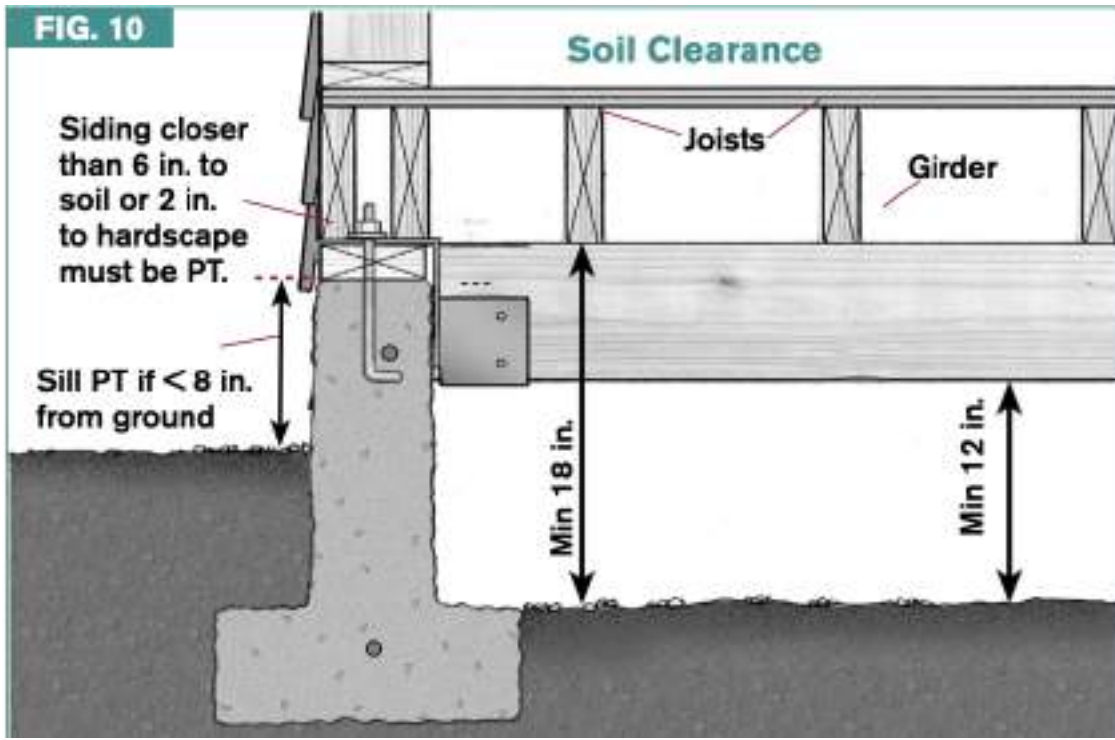
Under-Floor Crawlspace: Type of Under-Floor Crawlspace Foundation Described

Concrete



Under-Floor Crawlspace: Structural Components Inspected

Structural components were inspected according to the [Home Inspection Standards of Practice](#), including readily observed floor joists.





Recommendations

12.1.1 Under-Floor Crawlspace

PRIOR WATER PENETRATION OBSERVED



I observed indications that sometime in the past, there was water penetration or intrusion into the crawlspace.

Correction and further evaluation is recommended.

Recommendation

Recommend monitoring.



12.1.2 Under-Floor Crawlspace



WOOD IN CONTACT WITH OR CLOSE TO SOIL

I observed indications of wooden structural components in contact with soil or in close proximity with soil. This condition is prone to water penetration into the structural materials resulting in water damage.

Correction and further evaluation is recommended.

Recommendation

Contact a qualified general contractor.



12.1.3 Under-Floor Crawlspace

UNSUPPORTED ELECTRICAL



I noted unsupported electrical lines. Recommend securing every 4-6 feet

Recommendation

Contact a qualified professional.



12.1.4 Under-Floor Crawlspace

FOUNDATION WAS NOT BOLTED



I noted the foundation was not bolted down, recommend further review by a foundation contractor.

Recommendation

Contact a qualified professional.



STANDARDS OF PRACTICE

Inspection Detail

Please refer to the [Home Inspection Standards of Practice](#) while reading this inspection report. I performed the home inspection according to the standards and my clients wishes and expectations. Please refer to the inspection contract or agreement between the inspector and the inspector's client.

Roof

Please refer to the [Home Inspection Standards of Practice](#) related to inspecting the roof of the house.

Monitor the roof covering because any roof can leak. To monitor a roof that is inaccessible or that cannot be walked on safely, use binoculars. Look for deteriorating or loosening of flashing, signs of damage to the roof covering and debris that can clog valleys and gutters.

Roofs are designed to be water-resistant. Roofs are not designed to be waterproof. Eventually, the roof system will leak. No one can predict when, where or how a roof will leak.

I. The inspector shall inspect from ground level or the eaves:

1. the roof-covering materials;
2. the gutters;
3. the downspouts;
4. the vents, flashing, skylights, chimney, and other roof penetrations; and
5. the general structure of the roof from the readily accessible panels, doors or stairs.

II. The inspector shall describe:

1. the type of roof-covering materials.

III. The inspector shall report as in need of correction:

1. observed indications of active roof leaks.

Exterior

Please refer to the [Home Inspection Standards of Practice](#) related to inspecting the exterior of the house.

I. The inspector shall inspect:

1. the exterior wall-covering materials;
2. the eaves, soffits and fascia;
3. a representative number of windows;
4. all exterior doors;
5. flashing and trim;
6. adjacent walkways and driveways;
7. stairs, steps, stoops, stairways and ramps;
8. porches, patios, decks, balconies and carports;
9. railings, guards and handrails; and
10. vegetation, surface drainage, retaining walls and grading of the property, where they may adversely affect the structure due to moisture intrusion.

II. The inspector shall describe:

1. the type of exterior wall-covering materials.

III. The inspector shall report as in need of correction:

1. any improper spacing between intermediate balusters, spindles and rails.

Detached Garage

The inspector shall inspect:

garage vehicle doors and the operation of garage vehicle door openers, using normal operating controls.

The inspector shall describe:

a garage vehicle door as manually-operated or installed with a garage door opener.

Electrical

I. The inspector shall inspect:

1. the service drop;
2. the overhead service conductors and attachment point;
3. the service head, gooseneck and drip loops;
4. the service mast, service conduit and raceway;
5. the electric meter and base;
6. service-entrance conductors;
7. the main service disconnect;
8. panelboards and over-current protection devices (circuit breakers and fuses);
9. service grounding and bonding;
10. a representative number of switches, lighting fixtures and receptacles, including receptacles observed and deemed to be arc-fault circuit interrupter (AFCI)-protected using the AFCI test button, where possible;
11. all ground-fault circuit interrupter receptacles and circuit breakers observed and deemed to be GFCIs using a GFCI tester, where possible; and
12. for the presence of smoke and carbon-monoxide detectors.

II. The inspector shall describe:

1. the main service disconnect's amperage rating, if labeled; and
2. the type of wiring observed.

III. The inspector shall report as in need of correction:

1. deficiencies in the integrity of the service-entrance conductors insulation, drip loop, and vertical clearances from grade and roofs;
2. any unused circuit-breaker panel opening that was not filled;
3. the presence of solid conductor aluminum branch-circuit wiring, if readily visible;
4. any tested receptacle in which power was not present, polarity was incorrect, the cover was not in place, the GFCI devices were not properly installed or did not operate properly, evidence of arcing or excessive heat, and where the receptacle was not grounded or was not secured to the wall; and
5. the absence of smoke and/or carbon monoxide detectors.

Plumbing

I. The inspector shall inspect:

1. the main water supply shut-off valve;
2. the main fuel supply shut-off valve;
3. the water heating equipment, including the energy source, venting connections, temperature/pressure-relief (TPR) valves, Watts 210 valves, and seismic bracing;
4. interior water supply, including all fixtures and faucets, by running the water;
5. all toilets for proper operation by flushing;
6. all sinks, tubs and showers for functional drainage;
7. the drain, waste and vent system; and
8. drainage sump pumps with accessible floats.

II. The inspector shall describe:

1. whether the water supply is public or private based upon observed evidence;
2. the location of the main water supply shut-off valve;
3. the location of the main fuel supply shut-off valve;
4. the location of any observed fuel-storage system; and
5. the capacity of the water heating equipment, if labeled.

III. The inspector shall report as in need of correction:

1. deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously;
2. deficiencies in the installation of hot and cold water faucets;
3. active plumbing water leaks that were observed during the inspection; and
4. toilets that were damaged, had loose connections to the floor, were leaking, or had tank components that did not operate.

Heating

I. The inspector shall inspect:

1. the heating system, using normal operating controls.

II. The inspector shall describe:

1. the location of the thermostat for the heating system;
2. the energy source; and
3. the heating method.

III. The inspector shall report as in need of correction:

1. any heating system that did not operate; and
2. if the heating system was deemed inaccessible.

Attic, Insulation & Ventilation

The inspector shall inspect:

insulation in unfinished spaces, including attics, crawlspaces and foundation areas; ventilation of unfinished spaces, including attics, crawlspaces and foundation areas; and mechanical exhaust systems in the kitchen, bathrooms and laundry area.

The inspector shall describe:

the type of insulation observed; and the approximate average depth of insulation observed at the unfinished attic floor area or roof structure.

The inspector shall report as in need of correction:

the general absence of insulation or ventilation in unfinished spaces.

Bathrooms

The home inspector will inspect:

interior water supply, including all fixtures and faucets, by running the water; all toilets for proper operation by flushing; and all sinks, tubs and showers for functional drainage.

Doors, Windows & Interior

The inspector shall inspect:

a representative number of doors and windows by opening and closing them; floors, walls and ceilings; stairs, steps, landings, stairways and ramps; railings, guards and handrails; and garage vehicle doors and the operation of garage vehicle door openers, using normal operating controls.

The inspector shall describe:

a garage vehicle door as manually-operated or installed with a garage door opener.

The inspector shall report as in need of correction:

improper spacing between intermediate balusters, spindles and rails for steps, stairways, guards and railings;
photo-electric safety sensors that did not operate properly; and
any window that was obviously fogged or displayed other evidence of broken seals.

Kitchen

The kitchen appliances are not included in the scope of a home inspection according to the Standards of Practice.

The inspector will out of courtesy only check:

the stove,
oven,
microwave, and
garbage disposer.

Basement, Foundation, Crawlspace & Structure**I. The inspector shall inspect:**

the foundation;
the basement;
the crawlspace; and
structural components.

II. The inspector shall describe:

the type of foundation; and
the location of the access to the under-floor space.

III. The inspector shall report as in need of correction:

observed indications of wood in contact with or near soil;
observed indications of active water penetration;
observed indications of possible foundation movement, such as sheetrock cracks, brick cracks, out-of-square door frames, and unlevel floors; and
any observed cutting, notching and boring of framing members that may, in the inspector's opinion, present a structural or safety concern.