

IMPROVEMENT PLANS FOR

2259 MARKET ST

SAN DIEGO, CALIFORNIA 92102

SB-1211



SULTA STUDIO

1591 BURTON ST
SAN DIEGO, CA 92111
914 380 2965

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DEVELOPMENT SUMMARY

ADDRESS:	2259 MARKET ST SAN DIEGO, CA 92102
A.P.N.:	5352301100
LEGAL DESCRIPTION:	BLK 10* LOT 6*
TYPE OF CONSTRUCTION:	VB - NON - SPRINKLERED
OCCUPANCY:	R3
ZONING:	CC-3-4
GROSS SITE AREA:	7,500 SQ. FT.
YEAR HOUSE BUILT:	1927
MAXIMUM STRUCTURE HEIGHT:	30' PER SDMC TABLE 131-05E
MAXIMUM FLOOR AREA RATIO:	1.0 PER SDMC TABLE 131-05E
MAXIMUM BUILDING AREA ALLOWED:	7,500 SF
EXISTING BUILDING:	4,608 SF
PROPOSED BUILDINGS:	2,884 SF
TOTAL AREA PROPOSED:	7,492 SF
* PER SAN DIEGO INFORMATION BULLETIN IB-400 THE FLOOR AREA RATIO MAY BE EXCEEDED BY AN ADU OF UP TO 800 SQUARE FEET	

SCOPE OF PROJECT

THIS PROJECT PROPOSES THE CONSTRUCTION OF (6) ADUS USING THE PROVISIONS OF SENATE BILL SB-1211. THE ADUS WILL BE DISTRIBUTED ACROSS (3) SEPARATE BUILDINGS. PLEASE SEE BELOW FOR UNIT BREAKDOWN:

BLDG A			
UNIT A1	ADU BY RIGHT	365 SF	
UNIT A2	ADU BY RIGHT	615 SF	
TOTAL BUILDING AREA:		980 SF	

BLDG B			
UNIT B3	ADU BY RIGHT	635 SF	
UNIT B4	ADU BY RIGHT	615 SF	
TOTAL BUILDING AREA:		980 SF	

BLDG C			
UNIT C5	ADU BY RIGHT	318 SF	
UNIT C6	ADU BY RIGHT	606 SF	
TOTAL BUILDING AREA:		924 SF	

CONTACTS

CLIENT

JUAN CARLOS ORTEGA
5609 ALTA VISTA AVENUE
SAN DIEGO, CA 92114
CONTACT: JUAN CARLOS ORTEGA
PHONE: 760.402.2058
EMAIL: JC.HANDYMAN.MAINTENANCE@GMAIL.COM
* FINANCIALLY RESPONSIBLE PARTY FOR WATER AND SEWER FEES

DESIGNER

SULTA STUDIO
1591 BURTON ST
SAN DIEGO, CA 92111
914.380.2965
CONTACT: ALVARO GALAN
EMAIL: ALVARO@SULTASTUDIO.COM

ENGINEER

SWEENEY STRUCTURES
CONTACT: PAT SWEENEY, PE
EMAIL: PAT@SWEENEYSTRUCTURES.COM
O: 619-356-1988
M: 443-474-8948

NOTES

THE STRUCTURE WILL BE LOCATED ENTIRELY ON UNDIST. NATIVE SOIL. IF THE BUILDING INSPECTOR SUSPECTS FILL, EXPANSIVE SOIL OR ANY GEOLOGIC INSTABILITY BASED UPON OBSERVATION, A SOILOR GEOLOGICAL REPORT, AND RESUBMITTAL OF PLANS TO PLAN CHECK TO VERIFY THAT THE REPORT RECOMMENDATIONS HAVE BEEN INCORPORATED, MAY BE REQUIRED.

SIGNED: _____ (OWNER)

THIS PROJECT SHALL COMPLY WITH THE 2022 CALIFORNIA BUILDING CODE, 2022 CALIFORNIA RESIDENTIAL CODE, 2022 CA GREEN CODE, 2022 CMC, 2022 CPC, 2022 CEC, 2022 CA ENERGY EFFICIENCY STANDARDS, 2022 FIRE CODE AND THE CITY OF SAN DIEGO MUNICIPAL CODE.

IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY FIELD CONDITIONS MATCH PLANS

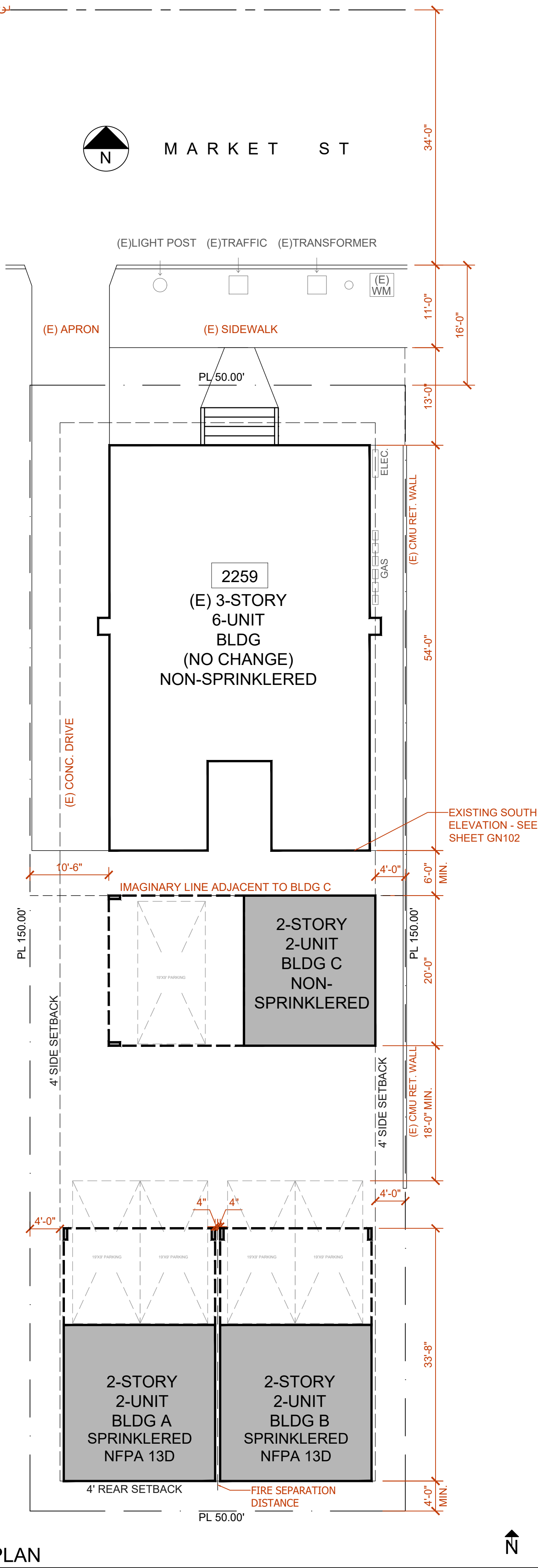
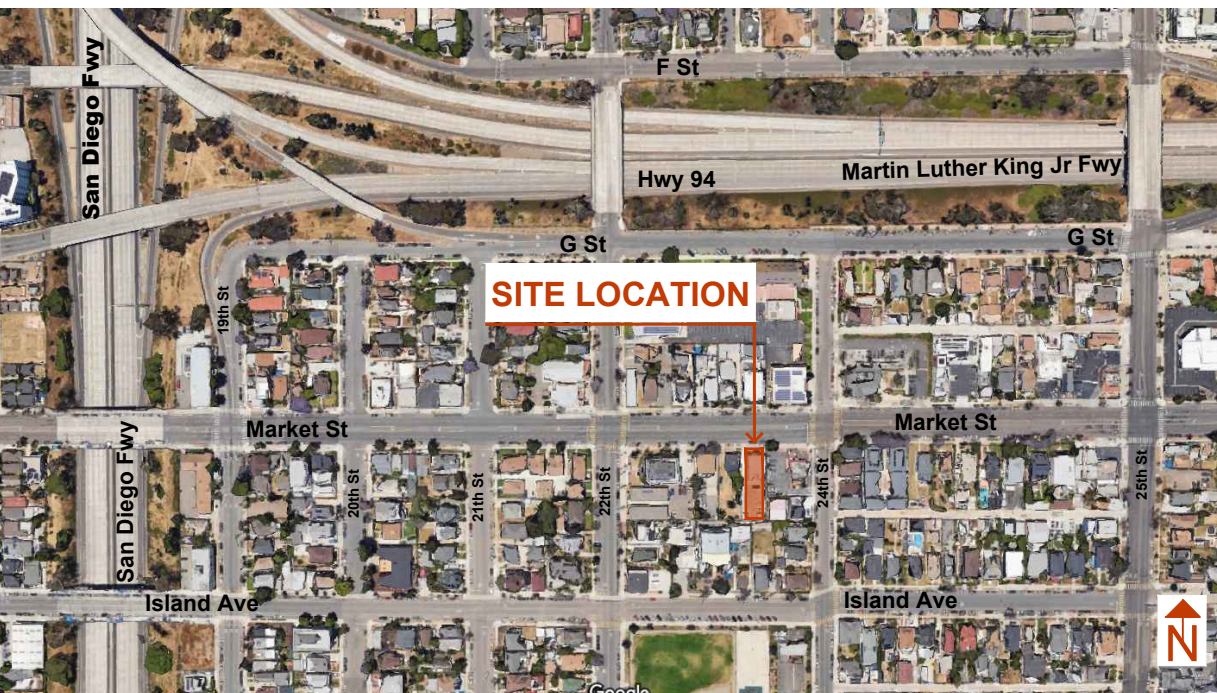
AN ELECTRONICALLY SIGNED AND REGISTERED INSTALLATION CERTIFICATE(S) (CF2R) POSTED BY THE INSTALLING CONTRACTOR SHALL BE SUBMITTED TO THE FIELD INSPECTOR DURING CONSTRUCTION AT THE BUILDING SITE. A REGISTERED CF2R WILL HAVE A UNIQUE 21-DIGIT REGISTRATION NUMBER FOLLOWED BY FOUR ZEROS LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 12 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CF1R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL FORMS CF2R IS REVIEWED AND APPROVED.

AN ELECTRONICALLY SIGNED AND REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF3R) SHALL BE POSTED AT THE BUILDING SIGNED AND REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF3R) SHALL BE POSTED AT THE BUILDING SITE BY A CERTIFIED HERS RATER. A REGISTERED CF3R WILL HAVE A UNIQUE 25-DIGIT REGISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 20 DIGITS OF THE ASSOCIATED CF2R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL CF3R IS REVIEWED AND APPROVED.

STREET VIEW



VICINITY MAP



SITE PLAN

SCALE: 1" = 10'-0"

OWNER

JUAN CARLOS ORTEGA

5609 ALTA VISTA AVENUE
SAN DIEGO, CA 92114

PROJECT

MARKET ST
ADUS

2259 MARKET ST
SAN DIEGO, CA 92102

REVISIONS

SHEET TITLE

COVER SHEET
AND SITE PLAN

SHEET NUMBER

CS101

FLOOR PLAN SYMBOL LEGEND		GENERAL NOTES		VENT NOTES AND CALCULATIONS		WALL/FLOOR/CEILING SCHEDULE		LEGEND																															
	2X4 @ 16" O.C. INTERIOR WALLS 2X4 @ 16" O.C. EXTERIOR WALLS (W/R-13 INSULATION)		1.5" STEP UNLESS OTHERWISE NOTED		SLOPE 2% MAX		24" ELECTRIC RANGE WITH 20" MIROWAVE ABOVE & 160 CFM EXHAUST FAN 30" ELECTRIC RANGE WITH 20" MIROWAVE ABOVE & 160 CFM EXHAUST FAN		(N) 1 TON, 12,000 BTU HEAT PUMP, 7.5 HSPF2/14.3 SEER2 (OR EQ) TYP OF 1 AT 1 BR ADUS																														
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	(N) 1.5 TON, 18,000 BTU HEAT PUMP, 7.5 HSPF2/14.3 SEER2 (OR EQ) TYP OF 1 AT 2 BR ADUS																																						
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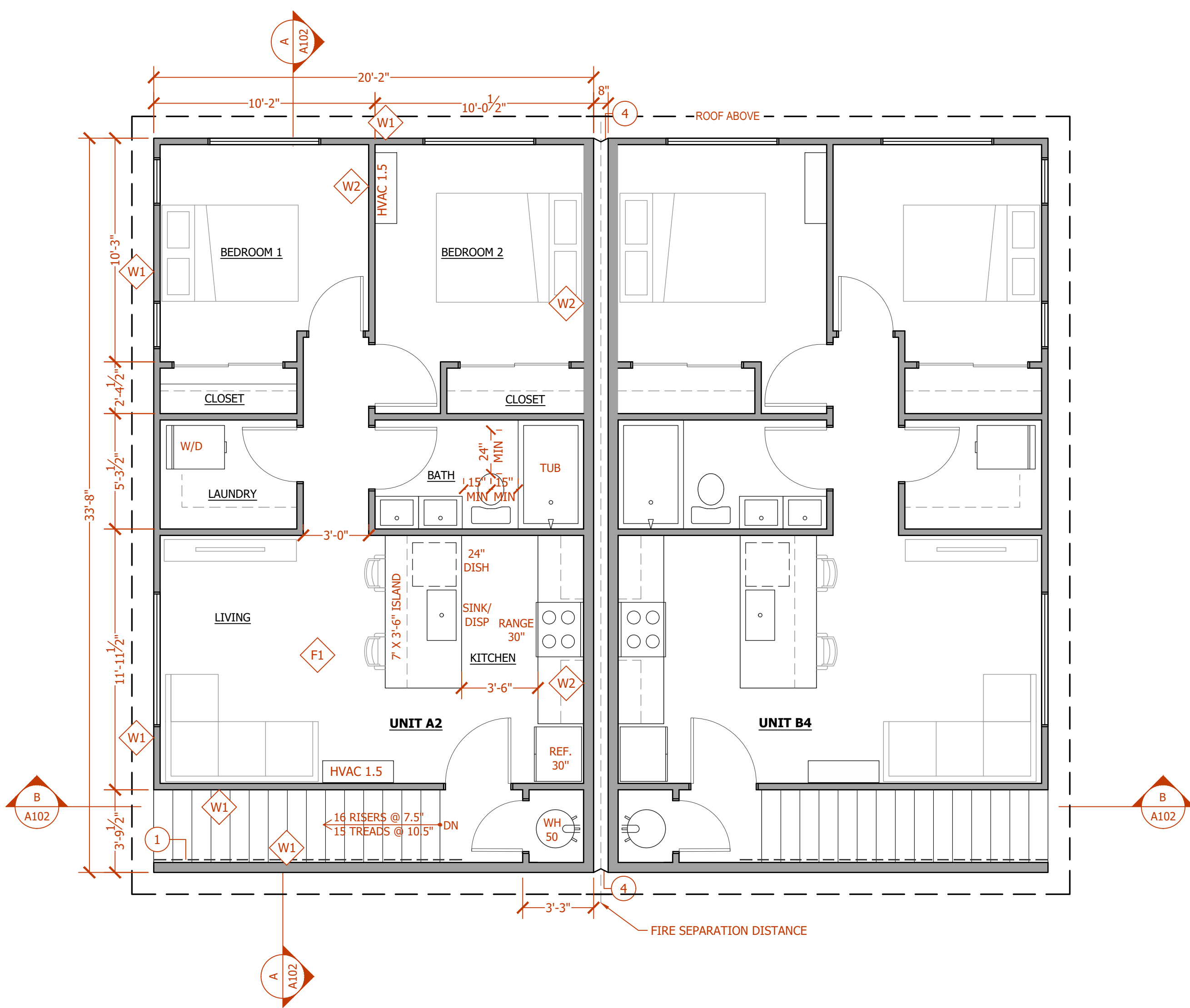
REVISIONS

SHEET TITLE

BLDG A&B -
PROPOSED
FLOOR PLANS

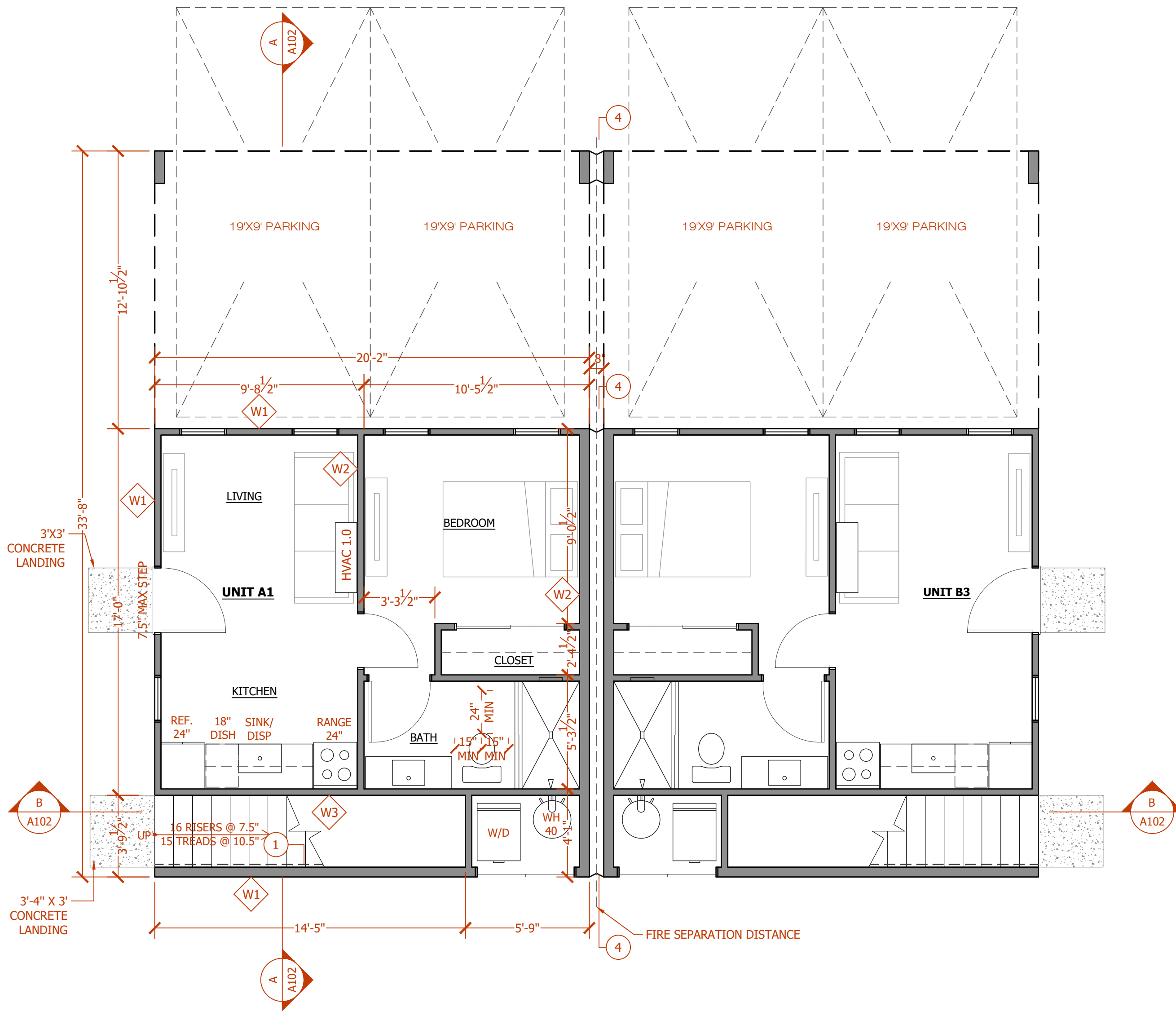
SHEET NUMBER

A101



SECOND FLOOR PLAN

SCALE: $\frac{1}{4}$ " = 1'-0"



FIRST FLOOR PLAN

SCALE: $\frac{1}{4}$ " = 1'-0"



FLOOR PLAN SYMBOL LEGEND	GENERAL NOTES	VENT NOTES AND CALCULATIONS	WALL/FLOOR/CEILING SCHEDULE	LEGEND
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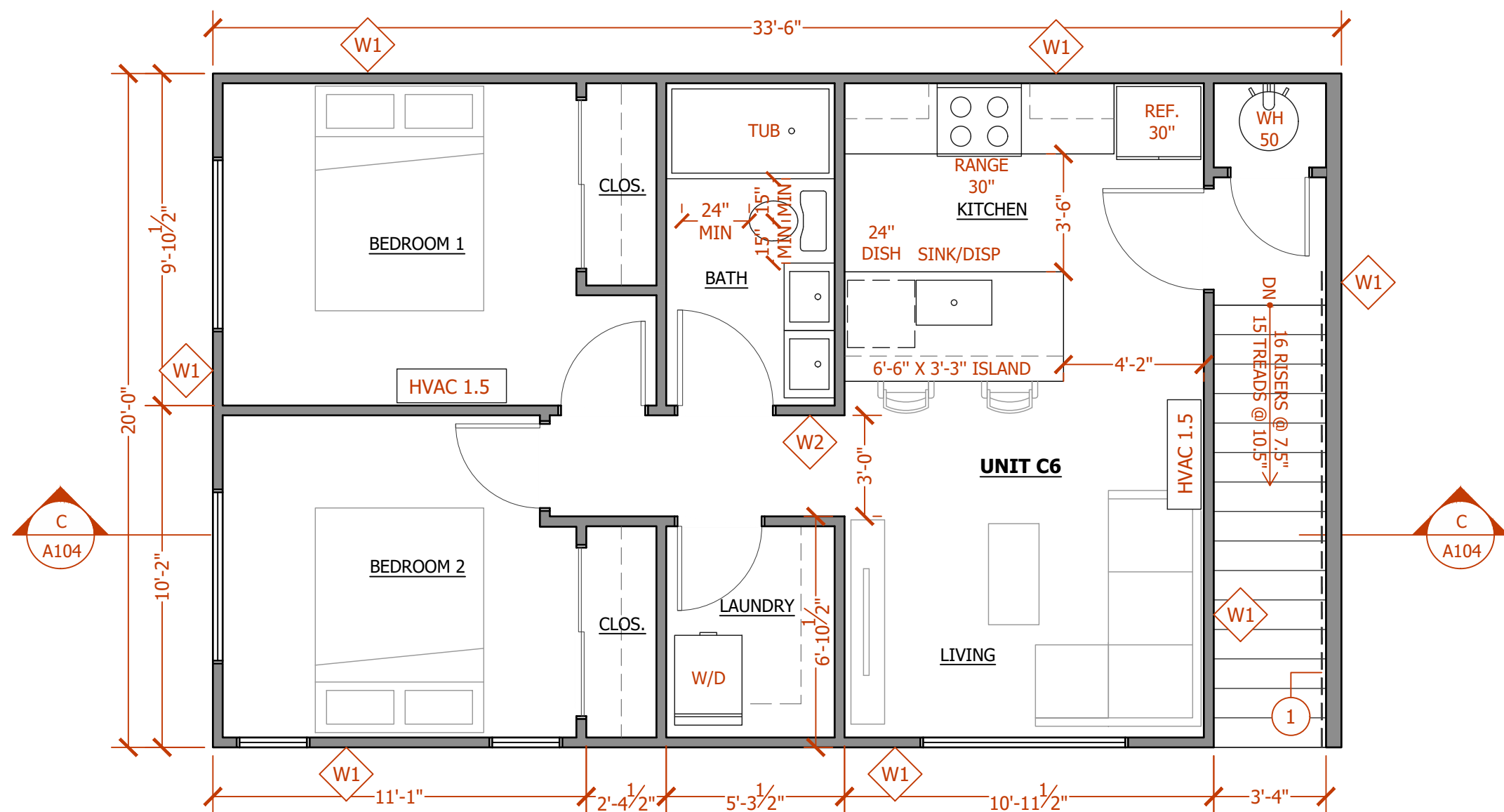
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BLDG C -
PROPOSED
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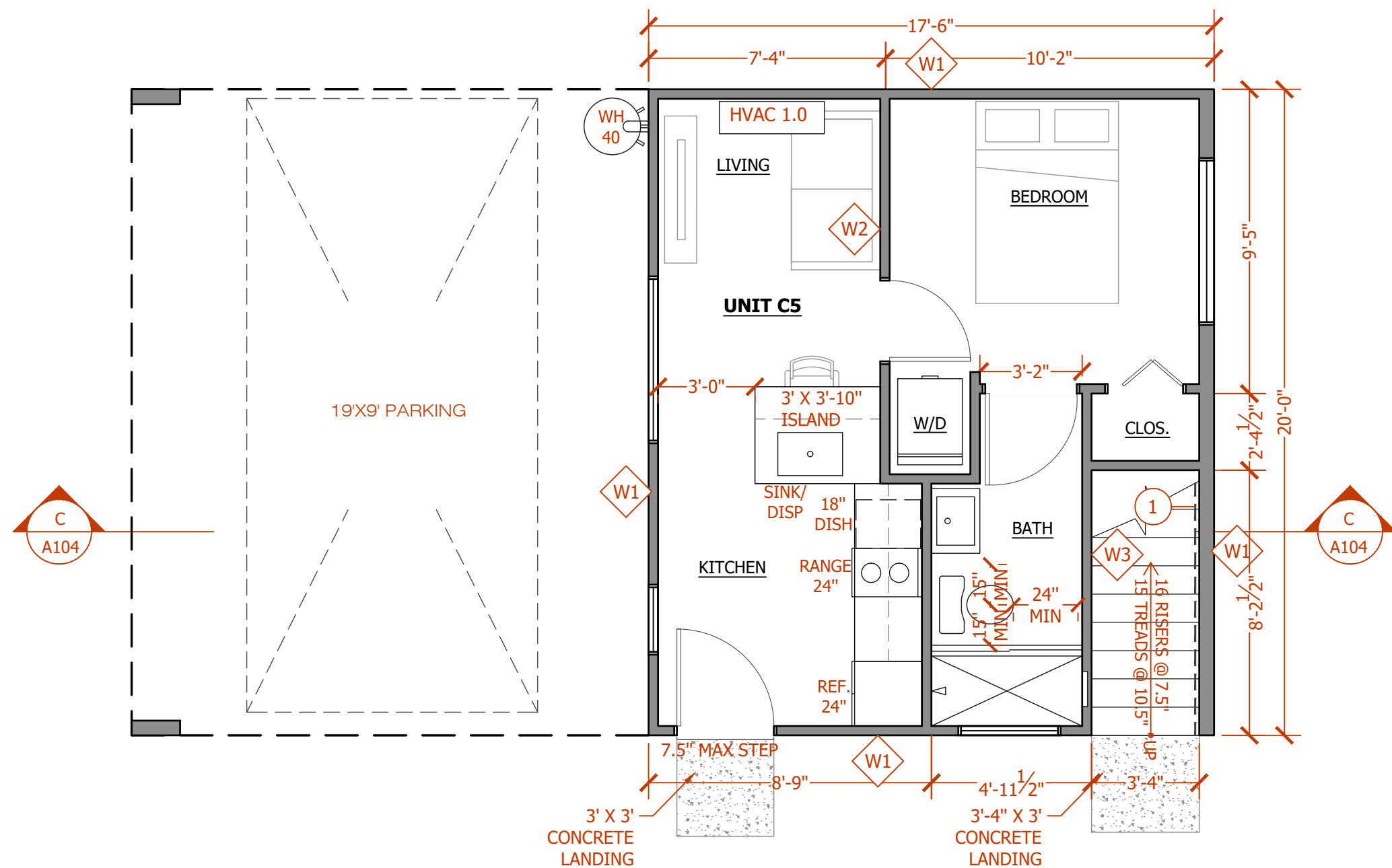
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A201



SECOND FLOOR PLAN

SCALE: $\frac{1}{4}" = 1'-0"$



FIRST FLOOR PLAN

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