

Accurate Inspection Team LLC
Property Inspection Report



1110 Arno Dr, Sierra Madre, CA 91024
Inspection prepared for: Harry Wurmsdobler & Mary Ann Shinnick
Real Estate Agent: Pete Whan - Pete Whan & Associates

Date of Inspection: 1/6/2026 Time: 10:00 am
Age of Home: 1967 Size: 2,166 sqft
Weather: Cool & Sunny

Inspector: Mark Miller

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Report Summary

Interior		
Page 4 Item: 8	Interior Fireplace	recommend installing a damper door clamp
Bedrooms		
Page 7 Item: 6	Bedroom Doors	double doors hit when closed
Page 7 Item: 8	Bedroom Fireplace	recommend cleaning, recommend a damper door clamp, recommend screen
Bathrooms		
Page 10 Item: 7	Bathroom Electrical	outlet hot wired in reverse marked R
Page 10 Item: 8	Bathroom GFCI Outlets	recommend all bathroom outlets be -GFCI outlets
Page 11 Item: 15	Bathtub	low water flow
Page 12 Item: 19	Bathroom Toilets	toilet is loose on the floor
Kitchen		
Page 13 Item: 5	Dishwasher	dishwasher is using a high loop, recommend an air gap
Page 14 Item: 6	Kitchen Electrical	dead outlet present under the sink marked with an X, exposed romex wires inside the cabinet
Page 14 Item: 7	Kitchen GFCI	recommend all outlets by the sink area are GFCI protected
Page 15 Item: 11	Cook top condition	back right burner did not self light
Page 16 Item: 13	Kitchen Plumbing	S trap present, recommend a P trap, no plumbing vent pipe present at the sink area, recommend further evaluation by a plumber
Page 16 Item: 19	Kitchen Exhaust Vent	flex vent pipe present, recommend a ridged exhaust vent pipe
Laundry		
Page 18 Item: 3	Laundry Cabinets	water damage
Heating & A/C		
Page 20 Item: 3	Heater Enclosure	romex wire running through the wall
Water Heater		
Page 24 Item: 6	Water Heater Overflow Line	overflow drain line runs uphill underneath the structure, Pex plumbing at the overflow line may not be hot water rated, recommend further evaluation
Garage Area		
Page 26 Item: 3	Garage Electrical	romex below 7 feet
Page 27 Item: 10	Garage Door Auto Reverse	auto reverse eye beam system should be within 6 inches of the ground

Page 29 Item: 17	Garage Windows	painting shut
Roof Area		
Page 34 Item: 1	Roof Condition	loose tiles, patched areas, tree touching the roof, recommend trimming, exposed nails at the ridge, recommend a licensed roofer for servicing
Page 38 Item: 3	Roof Flashings	missing flashing
Attic		
Page 40 Item: 4	Attic Electrical	missing junction box cover above kitchen area, exposed wire above #2 bedroom
Page 41 Item: 6	Attic Exhaust Vents	hall bathroom exhaust vent terminates in the attic, does not extend to exterior air, irregular installation, using flex vent pipe at the attic area for the kitchen exhaust vent, recommend more support at the kitchen vent
Foundation		
Page 46 Item: 4	Foundation Ventilation	excessive moisture present, recommend further evaluation by a contractor
Page 48 Item: 11	Foundation Electrical	unsecured wiring laying on the ground
Page 49 Item: 12	Foundation Plumbing	copper to galvanized missing proper connections, large puddle under kitchen area, pin hole leaking, sewer line leaking, recommend that a licensed plumber evaluate, recommend that a licensed plumber evaluate all areas of the structure
Page 51 Item: 13	Foundation Ducting	crushed ducting, insulation missing in areas, ducting laying on the ground, rusted ducting, recommend a licensed heating and A/C contractor to evaluate
Grounds		
Page 53 Item: 6	Exterior Stairs & handrail	recommend hand rails
Page 53 Item: 8	Exterior GFCI Outlets	recommend -GFCI on all exterior outlets including the BBQ area, GFCI is reversed, test did not operate
Pool/Spa		
Page 59 Item: 6	Pool Area Gate & Fencing	recommend safety alarms at all doors and windows leading to the pool area, recommend a 5 foot fence or better at the pool area, gate to the pool should open outward away from the pool, recommend pool safety features comply with current city code
Page 61 Item: 18	Pool Water Fill Valve	missing shutoff handle

Interior

1. Location

Observations: Entryway, Living Room, Dining Room, Hallway



Entryway



Hallway



Dining Room



Living Room

2. Cabinets

Observations: functional, worn hardware

3. Ceiling Condition

Materials: drywall
Observations: good, freshly painted

4. Interior Closets

Observations: functional, worn hardware, most not visible due to personal items

5. Door Bell

Observations: Ring door bell present, did not test, consult owner

6. Interior Doors

Observations: functional, worn hardware

7. Interior Electrical

Observations: functional, worn switches & outlets

8. Interior Fireplace

Location: Living Room, Dining Room

Fireplace Type: mason built

Observations: limited inspection, gas only, **recommend installing a damper door clamp**



limited inspection, gas only



limited inspection, gas only



recommend installing a damper door clamp

9. Interior Floors

Floor Type: tile, hardwood

Observations: normal wear, worn, scratched

10. Interior Sliding Doors

Observations: functional, worn hardware, dirty tracks

11. Screen Doors

Observations: functional, worn hardware, dirty tracks

12. Interior Smoke & Carbon Monoxide Detectors

Observations: combo smoke & carbon monoxide detector present, inspector did not test the smoke detectors. recommend that all smoke and carbon monoxide detectors be in working order accordingly to city codes

13. Interior Walls

Materials: drywall, plaster

Observations: good, some areas not accessible due to personal items

14. Interior Windows

Window Type: vinyl

Observations: functional, worn hardware, dirty tracks, recommend cleaning tracks

Bedrooms

The main area of inspection in the bedrooms is the structural system. This means that all walls, ceilings and floors will be inspected. Doors and windows will also be investigated for damage and normal operation. Personal items in the bedroom may prevent all areas to be inspected as the inspector will not move personal items.

1. Bedroom Locations

Primary Bedroom, #2 Bedroom, #3 Bedroom

2. Location

Observations: Primary Bedroom, #2 Bedroom, #3 Bedroom



Primary Bedroom



#2 Bedroom



#3 Bedroom

3. Ceiling Condition

Materials: drywall, plaster
Observations: good

4. Ceiling Fans

Observations: operated

5. Bedroom Closets

Observations: most not accessible due to personal items, functional, worn hardware

6. Bedroom Doors

Observations: functional, worn hardware, missing the privacy strip between the double doors, **double doors hit when closed**



double doors hit when closed

7. Bedroom Electrical

Observations: functional, some outlets are not accessible due to personal items or furnishing, worn switches & outlets

8. Bedroom Fireplace

Location: #3 Bedroom

Fireplace Type: mason built

Observations: gas log lighter, **recommend cleaning, recommend a damper door clamp, recommend screen**



recommend screen



recommend a damper door clamp

9. Bedroom Floors

Floor Type: hardwood

Observations: personal items prevent complete inspection, worn, scratched & worn

10. Bedroom Sliding Doors

Observations: functional, worn hardware, dirty tracks

11. Screen Doors

Observations: functional, worn hardware, dirty tracks

12. Bedroom Smoke Detectors

Observations: combo smoke & carbon monoxide detector present, inspector did not test the smoke detectors. recommend that all smoke and carbon monoxide detectors be in working order accordingly to city codes

13. Bedroom Walls

Materials: drywall, plaster

Observations: good, some areas not accessible due to personal items

14. Bedroom Windows

Window Type: vinyl

Observations: functional, worn hardware, dirty tracks, recommend cleaning tracks

Bathrooms

Bathrooms can consist of many features from jacuzzi tubs and showers to toilets and bidets. Because of all the plumbing involved it is an important area of the house to look over. Moisture in the air and leaks can cause mildew, wallpaper and paint to peel, and other problems. The home inspector will identify as many issues as possible but some problems may be undetectable due to problems within the walls or under the flooring..

1. Bathroom Locations

Primary Bathroom, Hall Bathroom, Laundry 1/2 Bathroom

2. Location

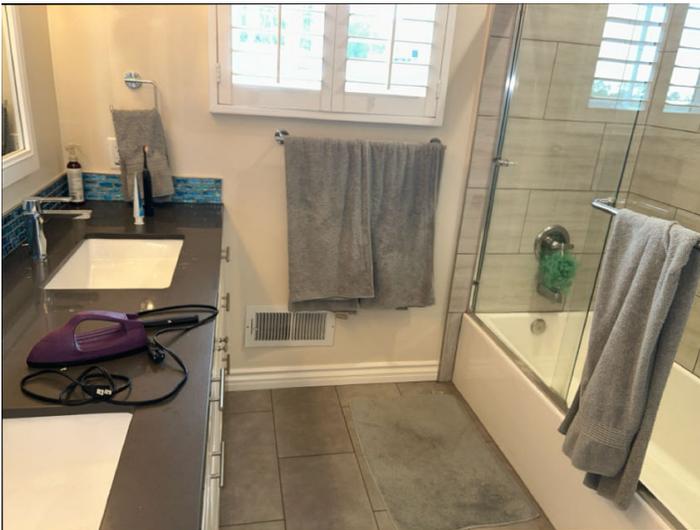
Observations: Primary Bathroom, Hall Bathroom, Laundry Room Bathroom



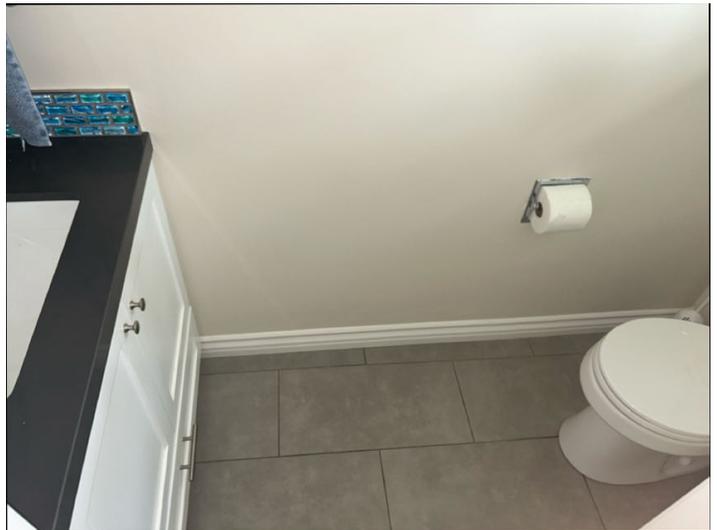
Primary Bathroom



Primary Bathroom



Hall Bathroom



Laundry Room Bathroom

3. Bathroom Cabinets

Observations: functional, worn hardware, some cabinet and drawer areas are not accessible due to personal items, some cabinet doors rub, recommend adjusting

4. Bathroom Ceiling

Materials: drywall, plaster
Observations: good

5. Bathroom Counters

Observations: normal wear

6. Bathroom Doors

Observations: functional, worn hardware

7. Bathroom Electrical

Observations: functional, worn switches & outlets, outlet hot wired in reverse marked R



outlet hot wired in reverse marked R

8. Bathroom GFCI Outlets

Observations: test operated, recommend all bathroom outlets be -GFCI outlets

9. Bathroom Exhaust Fan

Observations: bath fan operated

10. Bathroom Floors

Floor Type: tile, hardwood
Observations: normal wear, personal items prevent complete inspection, stained, worn, stained grout, scratched

11. Bathroom Heating

Observations: electric ceiling fan heater operated



electric ceiling fan heater operated



electric ceiling fan heater operated

12. Bathroom Mirrors

Observations: functional

13. Bathroom Plumbing

Observations: functional, some not accessible due to personal items, worn fixtures, rust and corrosion present, galvanized

14. Shower Fixtures

Observations: functional, worn hardware

15. Bathtub

Observations: normal wear, worn fixtures, stopper missing, **low water flow**



low water flow

16. Shower Walls

Observations: normal wear

17. Shower Enclosure

Observations: safety glass, functional

18. Bathroom Sinks

Observations: functional, worn fixtures & surface, sink stopper difficult to operate

19. Bathroom Toilets

Observations: functional, worn hardware, bidet present, not tested by inspector, **toilet is loose on the floor**



bidet present, not tested by inspector



toilet is loose on the floor

20. Bathroom Walls

Materials: drywall, plaster

Observations: good, some areas not accessible due to personal items

21. Bathroom Windows

Window Type: vinyl

Observations: functional, worn hardware, dirty tracks, recommend cleaning tracks

Kitchen

1. Location

Observations: Kitchen



Kitchen

2. Kitchen Cabinets

Observations: functional, worn hardware, most not accessible due to personal items

3. Kitchen Counters

Observations: some not visible due to personal items, normal wear

4. Kitchen Ceiling

Materials: drywall • plaster

Observations: good

5. Dishwasher

Observations: operated, dishwasher is using a high loop, recommend an **air gap**



dishwasher is using a high loop, recommend an air gap

6. Kitchen Electrical

Observations: functional, some outlets not accessible, worn switches & outlets, some 3 prong outlets are not grounded, **dead outlet present under the sink marked with an X**, **exposed romex wires inside the cabinet**



dead outlet present under the sink marked with an X



exposed romex wires inside the cabinet



exposed romex wires inside the cabinet

7. Kitchen GFCI

Observations: **recommend all outlets by the sink area are GFCI protected**



recommend all outlets by the sink area are GFCI protected



recommend all outlets by the sink area are GFCI protected

8. Kitchen Floor

Floor Type: tile

Observations: normal wear, personal items prevent complete inspection, stained grout

9. Garbage Disposal

Observations: operated

10. Microwave

Observations: operated

11. Cook top condition

Observations: operated, gas, **back right burner did not self light**



back right burner did not self light

12. Oven & Range

Observations: operated, electric

13. Kitchen Plumbing

Observations: some not accessible due to personal items, worn fixtures, **S trap present, recommend a P trap, no plumbing vent pipe present at the sink area, recommend further evaluation by a plumber**



S trap present, recommend a P trap

14. Kitchen Sink

Observations: functional, worn fixtures & surface, could not fully inspect due to personal items

15. Filtered Drinking Water

Observations: none

16. Spray Wand

Observations: operated

17. Hot Water Dispenser

Observations: none

18. Soap Dispenser

Observations: none

19. Kitchen Exhaust Vent

Vent Type: hood with fan • self filtering with a fan to the exterior

Observations: operated, could not fully inspect, **flex vent pipe present, recommend a ridged exhaust vent pipe**



flex vent pipe present, recommend a ridged exhaust vent pipe

20. Kitchen Walls

Materials: drywall • plaster • tile

Observations: good, some areas n/a personal items

21. Kitchen Windows

Window Type: vinyl

Observations: functional, worn hardware, dirty tracks

Laundry

1. Laundry Location

laundry room

2. Location

Observations: Laundry Room



Laundry Room

3. Laundry Cabinets

Observations: most not accessible due to personal items, functional, worn hardware, **water damage**



water damage

4. Laundry Counters

Observations: normal wear

5. Laundry Ceiling

Materials: drywall
Observations: good

6. Laundry Dryer Vent

Observations: functional, could not access, recommend cleaning

7. Laundry Electrical

Observations: functional, some outlets not accessible, worn switches & outlets, 240 volt outlet, could not access due to the location

8. Laundry GFCI

Observations: none visible

9. Laundry Exhaust Fan

Observations: none

10. Laundry Doors

Observations: functional, worn hardware, pocket door present

11. Laundry Floor

Floor Type: tile

Observations: normal wear, personal items prevent complete inspection, cracked

12. Laundry Gas Valves

Observations: functional, could not access, could not fully inspect

13. Laundry Plumbing

Observations: did not test drain, only inspected supply lines, limited inspection

14. Laundry Walls

Materials: drywall • plaster

Observations: good, some areas are not accessible due to personal items

15. Laundry Sink

Observations: functional, worn fixtures & surface, no shutoff handles visible

16. Laundry Windows

Window Type: stationary • vinyl

Observations: functional, worn hardware, dirty tracks

Heating & A/C

The heating, ventilation, and air conditioning and cooling system (often referred to as HVAC) is the climate control system for the structure. The goal of these systems is to keep the occupants at a comfortable level while maintaining indoor air quality, ventilation while keeping maintenance costs at a minimum. The HVAC system is usually powered by electricity and natural gas, but can also be powered by other sources such as butane, oil, propane, solar panels, or wood.

The inspector will usually test the heating and air conditioner using the thermostat or other controls. For a more thorough investigation of the system please contact a licensed HVAC service person.

1. Heater Condition

Heater Location: exterior closet

Heater Type: gas • forced • split system

Observations: operated, The date of manufacture is 2022



The date of manufacture is 2022

2. Heater Base

Observations: functional, stained

3. Heater Enclosure

Observations: functional, worn hardware, **romex wire running through the wall**



romex wire running through the wall

4. Heater Gas Valve

Observations: functional

5. Thermostat

Observations: functional



functional

6. Heater Venting

Observations: functional, could not fully inspect

7. Filter

Filter Location: interior area ceiling

Observations: dirty filter, recommend cleaning



dirty filter, recommend cleaning

8. Air Supply

Observations: functional

9. Registers

Observations: functional

10. Refrigerant Lines

Observations: functional, could not fully inspect

11. AC Compressor



5 ton unit

12. Heating & A/C Temperature

Observations: Heating, Cooling



Heating



Heating



Cooling



Cooling

Water Heater

1. Water Heater Condition

Water Heater Type: gas, tankless unit
Water Heater Location: laundry room closet
Observations: operated



tankless unit

2. Water Heater Combustion Air

Observations: functional

3. Water Heater Capacity

Observations: tankless unit

4. Water Heater Enclosure

Observations: functional

5. Water Heater Gas Valve

Observations: functional

6. Water Heater Overflow Line

Material Type: copper, Pex

Observations: **overflow drain line runs uphill underneath the structure, Pex plumbing at the overflow line may not be hot water rated, recommend further evaluation**



Pex plumbing at the overflow line may not be hot water rated, recommend further evaluation



Pex plumbing at the overflow line may not be hot water rated, recommend further evaluation

7. Water Heater Plumbing

Plumbing Type: Galvanized, Pex Plumbing

Observations: **expansion tank** present



expansion tank present

8. Water Heater Strapping

Observations: tankless water heater present, not required

9. Temperature Pressure Relief Valve

Observations: functional

10. Water Heater Venting

Observations: functional

Garage Area

1. Location

Observations: Garage



Garage

2. Garage Cabinets

Observations: worn hardware, most not accessible due to personal items

3. Garage Electrical

Observations: functional, could not access some electrical areas due to personal items , worn switches & outlets, switch has unknown function, **romex below 7 feet**



switch has unknown function



romex below 7 feet

4. Garage GFCI

Observations: none visible, recommend all garage outlets are GFCI protected

5. Garage 240 Volt Outlet

Observations: functional



6. Garage Flooring

Type: concrete

Observations: personal items present some not accessible, cracking small

7. Garage Door

Materials: sectional door

Observations: functional, weathered

8. Garage Door Parts

Observations: functional, worn hardware

9. Garage Door Opener

Observations: operated, garage door opener operates with extension cord



garage door opener operates with extension cord

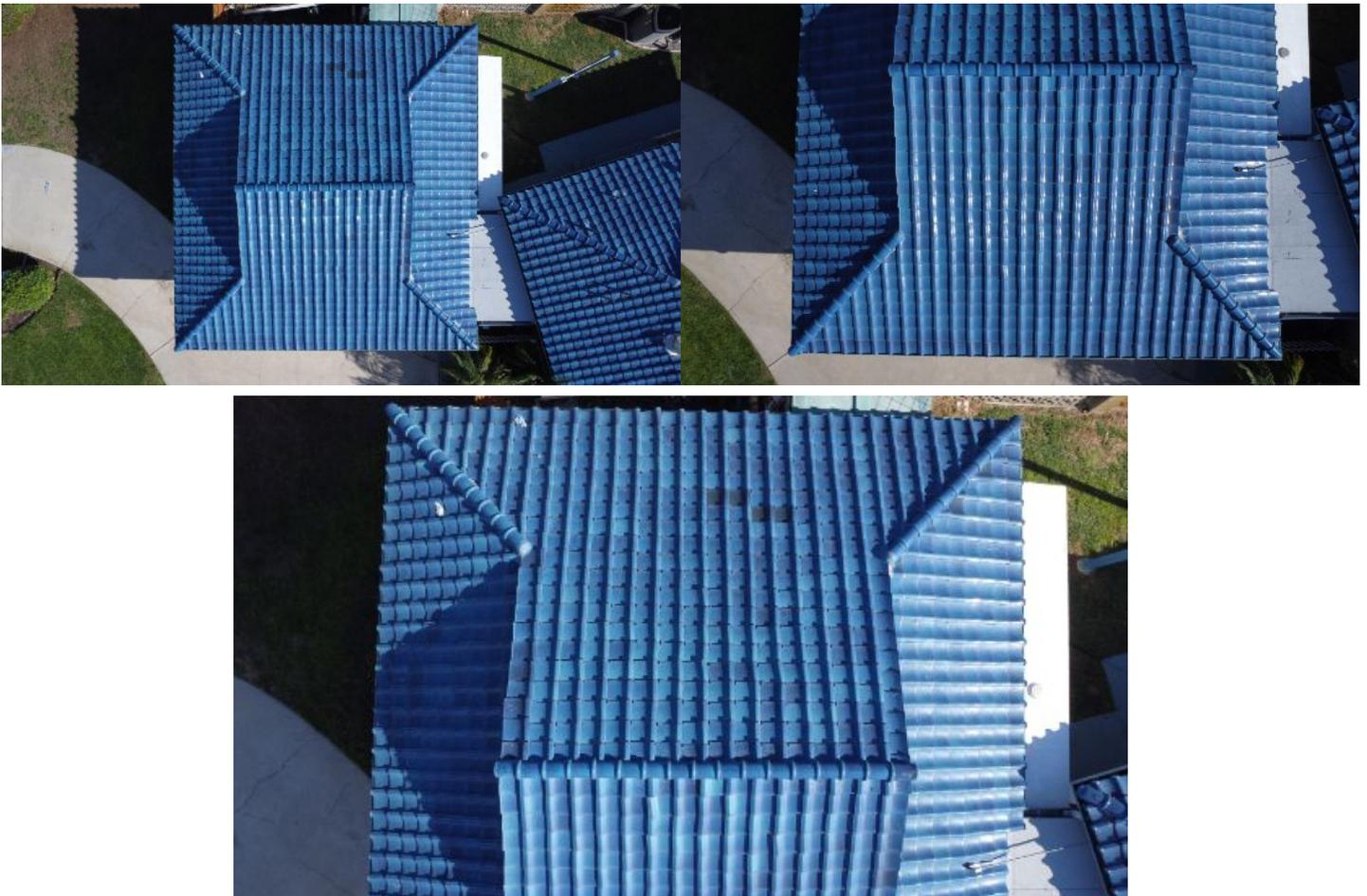
10. Garage Door Auto Reverse

Observations: operated, eye beam system present, **auto reverse eye beam system should be within 6 inches of the ground**



auto reverse eye beam system should be within 6 inches of the ground

11. Garage Roof



12. Garage Exterior Door

Observations: functional, worn hardware

13. Garage Ceiling & Rafters

Observations: functional, small stains, not for heavy storage

14. Garage Walls & Firewall

Observations: personal items prevent complete inspection, no firewalls present, walls are drywalled, limited inspection

15. Foundation Bolts

Observations: not visible

16. Garage Vent Screens

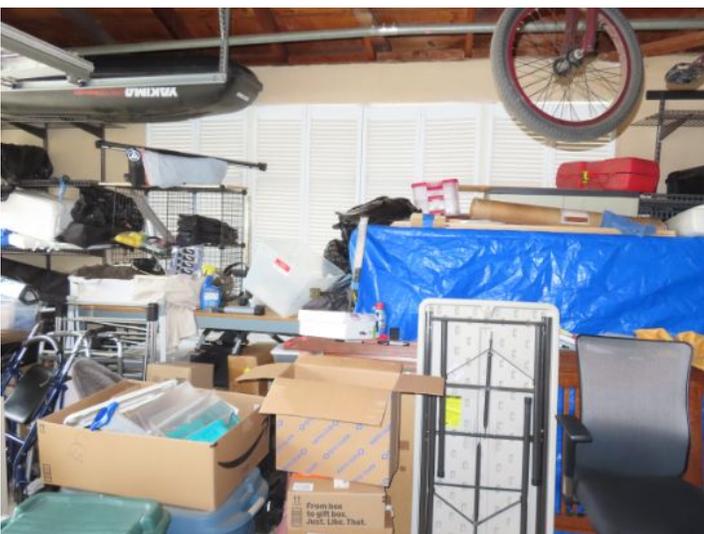
Observations: none visible, recommend vents, vent fan present, not tested by the inspector



vent fan present, not tested by the inspector

17. Garage Windows

Observations: stationary, could not access due to personal items, painted shut



could not access due to personal items



painted shut

Electrical & Gas Main

1. Electrical Panel

Location: east side exterior of structure

Observations: functional, solar panels present, not inspected by the inspector, could not remove interior cover



solar panels present, not inspected by the inspector

2. Main Amp Breaker

Observations: 200 amp



200 amp

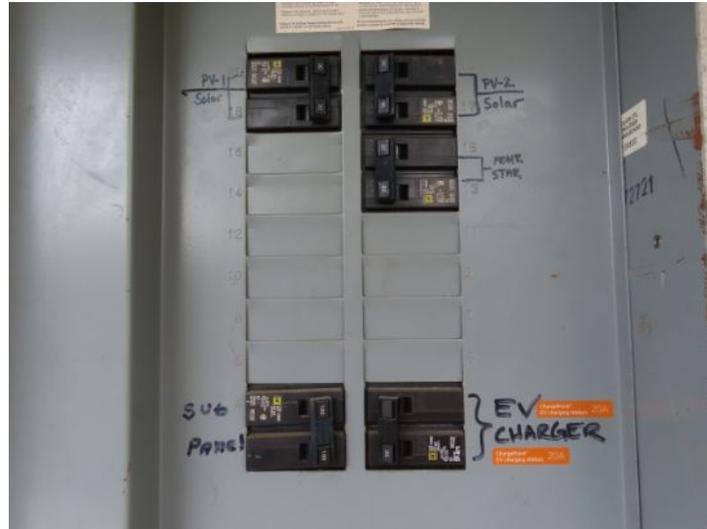
3. Number Of Breakers Off

Observations: 0

4. Main Panel Breakers

Wiring Type: copper

Observations: functional



5. Sub Panel Condition

Location: laundry room, pool equipment area
Observations: functional



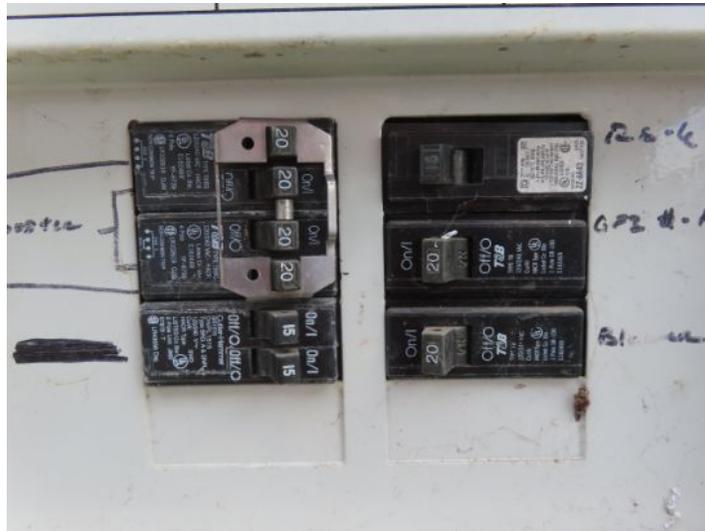
laundry wall



pool equipment area

6. Sub Panel Breakers

Wiring Type: copper
Observations: functional



7. Number Sub Panel of Breakers Off

Observations: 0

8. Electrical Power Feed

Observations: underground, could not fully inspect

9. Main Gas Valve

Location: east side exterior of structure
Observations: natural gas, no seismic shut off present, recommend a seismic shut off, can not determine if gas pipe is protected in the ground



natural gas



main gas shut off

Roof Area

1. Roof Condition

Roof Type: Tile • Rolled Roofing

Observations: could not access due to type of roofing materials, inspected from the ground and drone, solar panels present, not inspected by the inspector, Solar panels present, could not fully check all areas under the panels, **loose tiles, patched areas, tree touching the roof, recommend trimming, exposed nails at the ridge, recommend a licensed roofer for servicing**



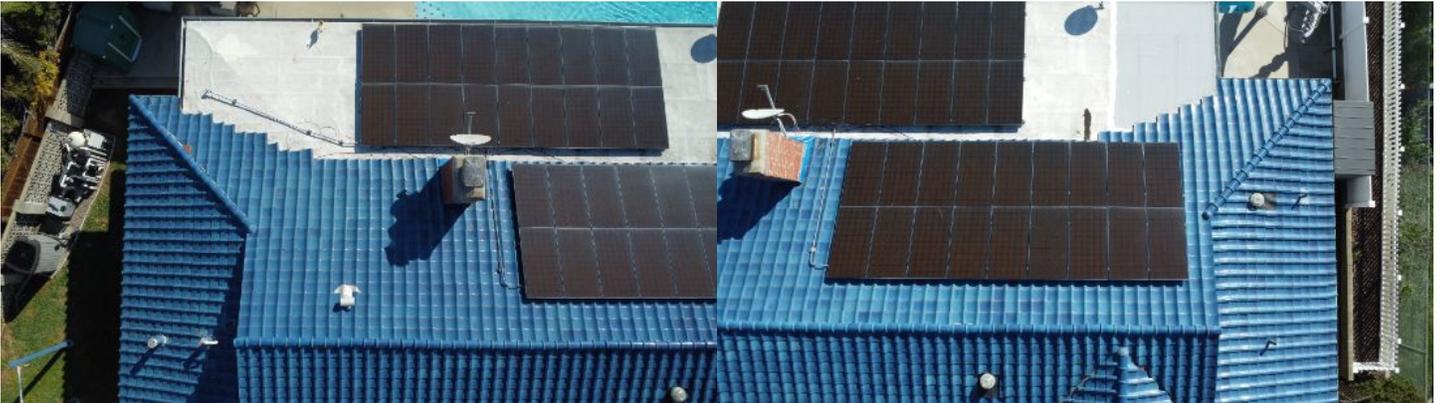


Solar panels present, could not fully check all areas under the panels



patched areas





loose tiles



loose tiles



loose tiles

2. Roof Area Chimney

Observations: limited inspection, could not access due to type of roofing material, inspected from the ground and drone



3. Roof Flashings

Observations: could not access due to type of roofing material, inspected from the ground and drone, recommend mastic at the flashings, **missing flashing**



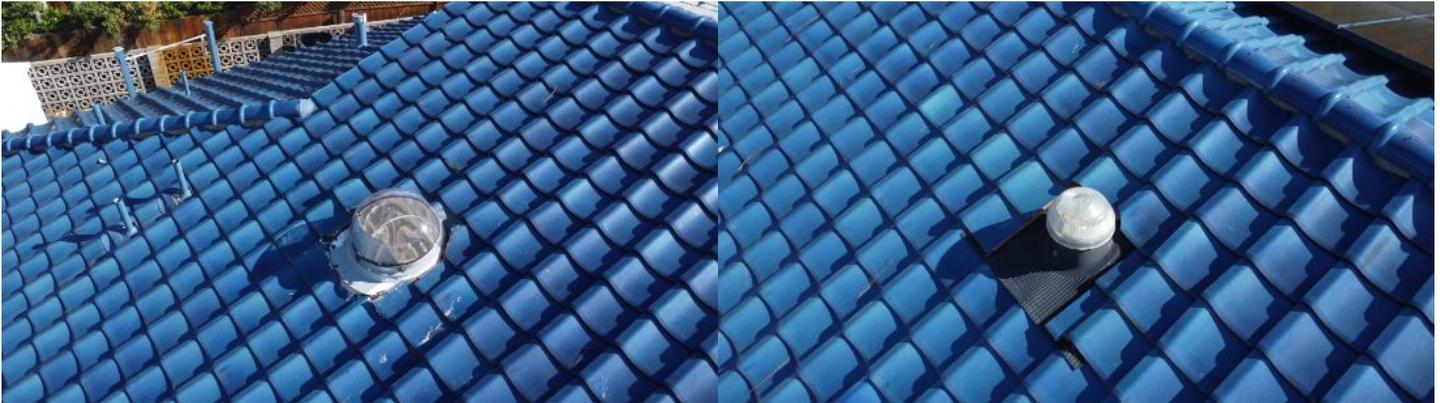
missing flashing

4. Rain Gutters

Observations: functional, gutters do not divert water away from structure

5. Roof Sky Lights

Observations: present could not fully inspect

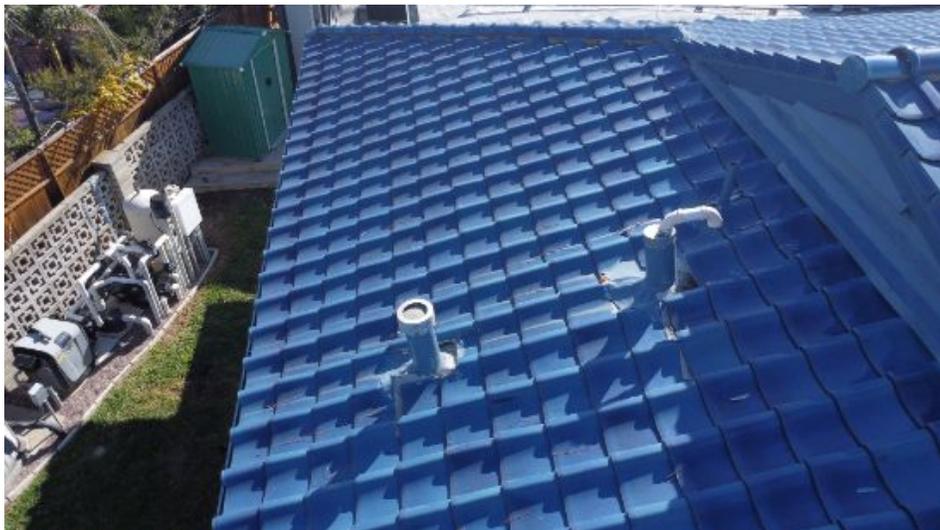


6. Chimney Spark Arrestor

Observations: spark arrestor & rain cap for the chimney present

7. Roof Vent Caps

Observations: functional, limited inspection only, could not access due to type of roofing material, inspected from the ground and drone



Attic

1. Attic Access

Observations: functional, limited space, could not access all areas

2. Attic Chimney

Observations: functional, stains present



3. Attic Ducting

Observations: functional



4. Attic Electrical

Observations: functional, unsecured electrical, **missing junction box cover above kitchen area, exposed wire above #2 bedroom**



exposed wire above #2 bedroom



missing junction box cover above kitchen area

5. Attic Plumbing

Observations: vents only

6. Attic Exhaust Vents

Observations: **hall bathroom exhaust vent terminates in the attic, does not extend to exterior air, irregular installation, using flex vent pipe at the attic area for the kitchen exhaust vent, recommend more support at the kitchen vent**



hall bathroom exhaust vent terminates in the attic, does not extend to exterior air



irregular installation, using flex vent pipe at the attic area for the kitchen exhaust vent

7. Attic Insulation

Insulation Type: fiberglass batts

Insulation Depth: 3 inches

Observations: recommend additional insulation, rodent traps present



rodent traps present

8. Attic Structure

Observations: good, could not access all areas, stains in areas, evidence of past leaking





stains in areas, evidence of past leaking



9. Attic Ventilation

Observations: functional, attic fan present, not tested by the inspector



attic fan present, not tested by the inspector

10. Attic Vent Screens

Observations: functional, could not access some attic vents due to the location

Exterior

1. Exterior Doors

Observations: functional, worn hardware

2. Exterior Eaves & Facia

Observations: good, weathered

3. Exterior Paint

Observations: good, weathered, fading

4. Exterior Siding

Siding Type: Stone

5. Exterior Stucco

Observations: weathered, small cracks, patched areas

6. Exterior Windows

Observations: functional, weathered

Foundation

1. Slab Foundation

Observations: Raised Foundation Only

2. Foundation Perimeter

Observations: partially visible

3. Access

Materials: North side of the structure • West side of the structure

Observations: functional, limited space, could not access all areas, recommend at least 18 inches of clearance



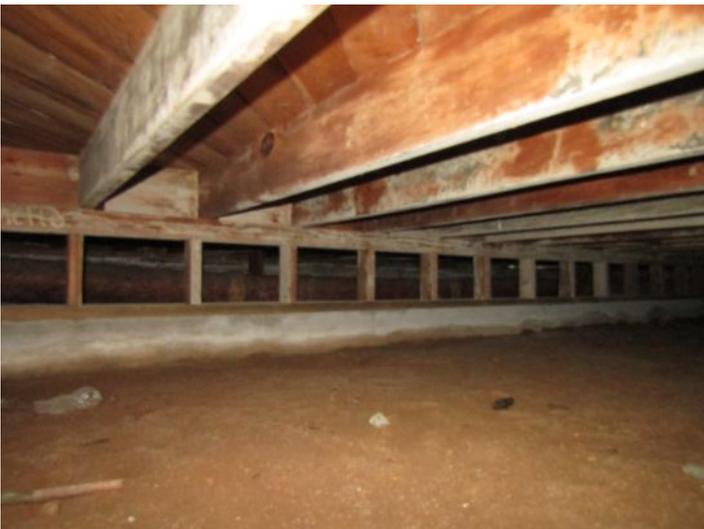
west side



north side

4. Foundation Ventilation

Observations: functional, moisture present, **excessive moisture present, recommend further evaluation by a contractor**



excessive moisture present, recommend further evaluation by a contractor



excessive moisture present

5. Foundation Vent Screens

Observations: functional

6. Sub Flooring & Joist

Observations: good, could not access all areas, stained in areas



7. Foundation Walls

Observations: good, could not access all areas, efflorescence present



8. Cripple Walls

Observations: functional



9. Foundation Bolts

Observations: present in areas visible



present in areas visible

10. Chimney Hearth

Observations: could not access

11. Foundation Electrical

Observations: functional, some electrical not accessible, could not access all areas, **unsecured wiring laying on the ground**



unsecured wiring laying on the ground



unsecured wiring laying on the ground

12. Foundation Plumbing

Plumbing Type: Copper, Galvanized

Observations: could not access all areas, rusted and corroded drain lines, copper to galvanized missing proper connections, large puddle under kitchen area, pin hole leaking, sewer line leaking, recommend that a licensed plumber evaluate, recommend that a licensed plumber evaluate all areas of the structure



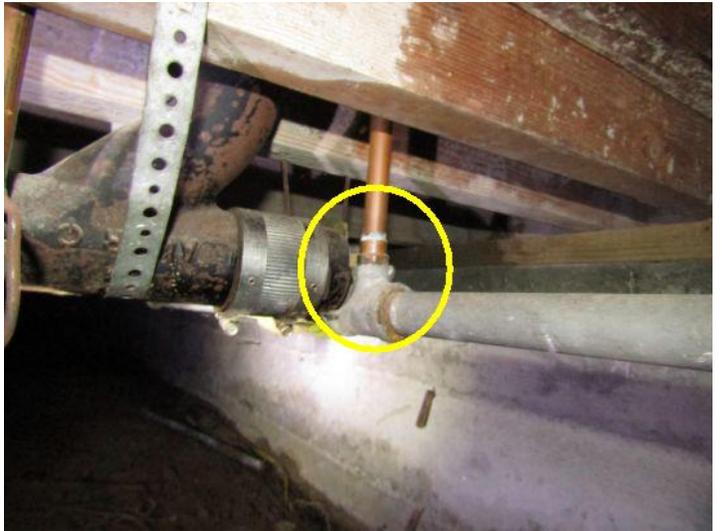
rusted and corroded drain lines



sewer line leaking, recommend that a licensed plumber evaluate



copper to galvanized missing proper connections



copper to galvanized missing proper connections



pin hole leaking



copper to galvanized missing proper connections

13. Foundation Ducting

Observations: crushed ducting, insulation missing in areas, ducting laying on the ground, rusted ducting, recommend a licensed heating and **AVC** contractor to evaluate



ducting laying on the ground



rusted ducting



insulation missing in areas



rusted ducting



crushed ducting



insulation missing in areas

Grounds

1. Driveway

Materials: concrete
Observations: stained, small cracking

2. Walkway

Materials: concrete, gravel, pebble
Observations: small cracking, painted

3. Patio Deck

Materials: concrete

4. Patio Enclosure

Observations: posts and roof only

5. Patio Roof

Roof Type: Rolled Roofing
Observations: see main roof page

6. Exterior Stairs & handrail

Observations: **recommend hand rails**



recommend hand rails



recommend hand rails

7. Exterior & Grounds Electrical

Observations: any lighting that is on sensors is not tested by the inspector, worn outlets

8. Exterior GFCI Outlets

Observations: **recommend -GFCI on all exterior outlets including the BBQ area, GFCI is reversed, test did not operate**



recommend -GFCI on all exterior outlets including the BBQ area



recommend -GFCI on all exterior outlets including the BBQ area



recommend -GFCI on all exterior outlets including the BBQ area



GFCI is reversed, test did not operate

9. Fencing & Walls

Fence Type: block, vinyl fencing
Observations: functional, limited inspection, weathered

10. Yard Gates

Gate Type: wood
Observations: functional, worn hardware, weathered, locked, not accessible

11. Exterior Grading

Observations: can not determine hillside stability, drains present, not tested by the inspector, B-B-Q is excluded from this report, check permits



B-B-Q is excluded from this report, check permits B-B-Q is excluded from this report, check permits



can not determine hillside stability

12. Exterior & Grounds Plumbing

Plumbing Type: Copper, **PVC**

Observations: soft water system present and not tested by the inspector, worn fixtures



soft water system present and not tested by the inspector

13. Grounds Sprinkler System

Observations: on timers, not tested by the inspector, consult the owner on the operation of the system

14. Water Pressure

Observations: 50 psi



50 psi

15. Water Pressure Regulator

Observations: present



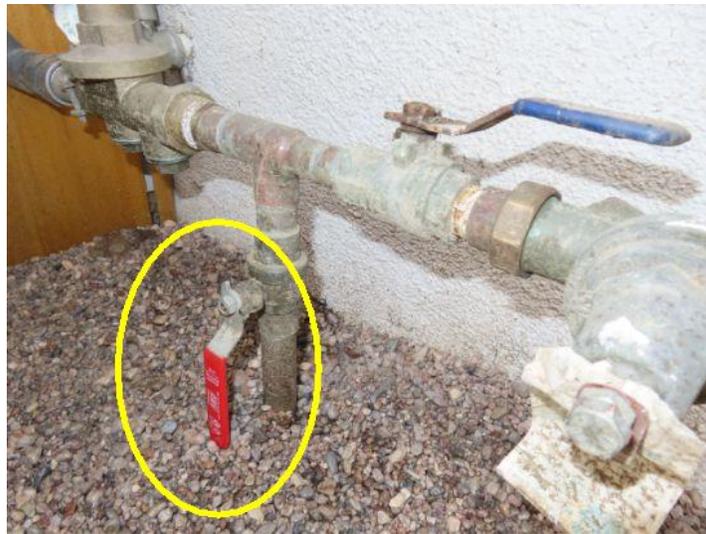
water pressure regulator



water pressure regulator

16. Main Water Shut Off Valve

Location: front of structure, front walk way
Observations: functional, worn valve



main water shut off

Pool/Spa

1. Location

Observations: Pool & Spa



Pool & Spa

2. Spa Booster Pump

Observations: operated



3. Pool Deck

Materials: concrete
Observations: chipped and cracked

4. Pool Electrical

Observations: worn outlets

5. Pool GFCI

Observations: test operated



test operated

6. Pool Area Gate & Fencing

Observations: recommend safety alarms at all doors and windows leading to the pool area, recommend a 5 foot fence or better at the pool area, gate to the pool should open outward away from the pool, recommend pool safety features comply with current city code



recommend a 5 foot fence or better at the pool area, gate to the pool should open outward away from the pool

7. Pool Filter

Observations: functional



pool equipment



8. Pool Skimmer & Basket

Observations: functional, limited inspection only

9. Pool & Spa Heater

Heater Type: gas
Observations: operated



operated



operated

10. Pool & Spa Lights

Observations: operated

11. Filter Pressure Gauge

Observations: present, corroded

12. Pool Pump

Observations: operated



13. Spa Jets

Observations: operated

14. Pool Structure

Pool Type: below ground

Materials: gunite • plaster

Observations: Limited Inspection Only

15. Pool Tile

Observations: worn

16. Pool Timer

Observations: present

17. Pool Water

Observations: clear

18. Pool Water Fill Valve

Observations: operated, limited inspection only, consult owner, **missing shutoff handle**



missing shutoff handle