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PROPERTY INSPECTION REPORT

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07/01/2025



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SUMMARY

The Summary version is not the entire report and should not be considered exclusive. The Summary listed items are considered by the inspector as inoperative, not operating properly or as intended, health and/or safety concerns, warranting further investigation by a specialist, or warranting continued observation by others. Not all findings listed in the full report are listed in the Summary. **Client is advised to read the entire full report.**

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- 🔧 15.3.1 Swimming Pools, Spas, and Equipment - Pool Condition: Pool is Level
- 🔧 15.4.1 Swimming Pools, Spas, and Equipment - Spa Condition: Spa Jets - Functioned
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- ⚠️ 15.4.3 Swimming Pools, Spas, and Equipment - Spa Condition: Spa - not heating properly
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- 🔧 15.7.1 Swimming Pools, Spas, and Equipment - Pumps And Plumbing: No Paint @ PVC Pipes
- 🔧 15.7.2 Swimming Pools, Spas, and Equipment - Pumps And Plumbing: Pump(s) - OK
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 - 🔧 15.11.1 Swimming Pools, Spas, and Equipment - Electrical Components: Bonding OK
 - ⊖ 15.12.1 Swimming Pools, Spas, and Equipment - GFCI Protection: Pump Not GFCI Protected
 - 🔧 15.12.2 Swimming Pools, Spas, and Equipment - GFCI Protection: GFCI Operational
 - ⚠️ 15.14.1 Swimming Pools, Spas, and Equipment - Pool/Spa Drain Covers: Old Drain Cover
 - 🔧 15.15.1 Swimming Pools, Spas, and Equipment - Filter: Filter - OK
 - ⊖ 15.15.2 Swimming Pools, Spas, and Equipment - Filter: Pool Filter - Aged*
 - 🔧 15.16.1 Swimming Pools, Spas, and Equipment - Pool And/Or Spa Light: Light - Functional
 - 🔧 15.17.1 Swimming Pools, Spas, and Equipment - Water Feature(s): Pool - Water Feature OK
 - 🔧 15.18.1 Swimming Pools, Spas, and Equipment - Pool Fill: Pool fill - OK
 - 🔧 15.19.1 Swimming Pools, Spas, and Equipment - Pool Sweep: Sweep - None
 - ⊖ 15.20.1 Swimming Pools, Spas, and Equipment - Chlorinator/Chlorine Generator: No Chlorinator

1: GENERAL INFORMATION / OVERVIEW

Information

General: Overview



A property inspection is a non-invasive, visual examination of the accessible areas of the property, designed to identify areas of concern within specific systems or components defined by the CREIA and/or InterNACHI [Standards of Practice](#), that are both observed and deemed material by the inspector at the exact date and time of inspection. Any and all recommendations for repair, replacement, evaluation, and maintenance issues found, should be evaluated by the appropriate trades contractors within the clients inspection contingency window or prior to closing, which is contract applicable, in order to obtain proper dollar amount estimates on the cost of said repairs and also because these evaluations could uncover more potential issues than able to be noted from a purely visual inspection of the property. Specialized inspections may reveal issues that our general inspection does not cover. This inspection will not cover any HOA items will not reveal every concern or issue that exists, but only those material defects that were observable on the day of the inspection. This inspection is intended to assist in evaluation of the overall condition of the dwelling only. This inspection is not a prediction of future conditions and conditions with the property are subject to change the moment we leave the premises.

The inspector's job is to point out an issue and to give a course of action, which is why we always include a recommendation after the issue. We also write "one or more" comments for your protection. Since we are the generalist, if you have a specialist come out then we recommend they inspect all of the specific items and not just the one we identify in the report.

General: Notes

Note: Read the [Standards of Practice](#) set forth by the [California Real Estate Inspectors Association](#) for an insight into the scope of the inspection.

Note: The inspection represents the condition of the visually inspected areas of the property on the date of the inspection. Regular maintenance will be required in several areas. Identifying these areas is beyond the scope of this inspection. Component conditions may change between the date of the inspection and the title transfer date. A thorough walk-through prior to title transfer helps protect against unexpected surprises, and is recommended. **The purchase of a home/building warranty is recommended.**

Note: California has seasonable rains which occur at the end and the beginning of each calendar year. Occasionally, the rainfall is exceptionally high. This is called an El Nino year. In recent years Southern California has been going through a drought. During drought periods many conditions visible following rains do not appear. The duty of a home inspector is to disclose visible conditions. If a condition is not visible it cannot be reported.

Notice to Third Parties: This report is copyright protected. This report is the exclusive property of Aztec Property Inspections and the Client(s) listed above and is not transferable to any third parties or subsequent buyers. Our Inspection and this report have been performed with a written contract agreement that limits its scope and usefulness. Unauthorized recipients are therefore advised not to rely upon this report, but rather to retain the services of an appropriately qualified property inspector of their choice to provide them with their own inspection and report. Liability under this report is limited to the party identified on the cover page of this report.

Note: [For the purpose of this report, all directional references \(left, right, front, rear\) are based on when facing the front of the structure as depicted in the cover image above.](#)

Note: The client is advised that a mold inspection / testing is recommended by a qualified specialist. This is especially important if any evidence of past or current water leaks (plumbing, roof, intrusion or otherwise) are reported by the inspector or if issues have been disclosed.

HOA Note: HOA (Home Owner's Association) areas and items located in HOA areas are beyond the scope of this inspection and this typically only applies to condo and townhouses. It is unknown what items if any may be a part of an HOA and note that if any item isn't expressly marked as inspected then it is believed to be an HOA item. Inquire with the seller and/or the HOA for more information. If and HOA items were reported on then they were mentioned as a courtesy and were not fully inspected nor were all the HOA items inspected.

General: About Thermal Imaging

Note: A Thermal Imaging camera may be used as a means of evaluating certain suspect issues or systems. Any anomalies found are always verified by other means such as a moisture meter. Moisture must be present for infrared thermography to locate its existence. During dry times a leak may still be present but undetectable if materials have no moisture present. **Thermal Imaging is not X-ray vision, cannot see through walls and cannot detect mold.**

General: Comment Key and Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any findings / comments that are listed under "**Attention Required**" or "**Safety Item/Defective**" by the inspector suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of an item, component or unit should be considered before you purchase the property.

Inspected (IN) = The item, component or system was visually inspected and if no other comments were made, then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI) = The item, component or system was not inspected and no representations made of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = The item, component or system is not in this home or building.

Finding (F) = The item, component or system was inspected and a concern, observation and/or deficiency was found and falls under one of the categories below.

Note = The item or discovery indicated is considered cosmetic, nuisance or is "For Your Information". The items, although should be repaired, are not considered to be in need of immediate repair. Any items or recommendations in this category should not be considered as an enforceable repair or responsibility of the sellers, but designed only to provide you with specific information about the property.

Observation = The item, component, or system while perhaps functioning as intended is in need of **minor** repair, service, or maintenance; is showing signs of wear or deterioration that could result in an adverse condition at some point in the future; or considerations should be made in upgrading the item, component, or system to enhance the function, efficiency and / or safety. Items falling into this category can frequently be addressed by a **homeowner or handyman** and are considered to be routine homeowner maintenance (DIY) or recommended upgrades.

Attention Required = The item, component, or system while perhaps functioning as intended is in need **repair or service**; is showing signs of wear or deterioration that could result in an adverse condition at some point in the future; considerations should be made in upgrading the item, component, or system to enhance the function, efficiency and / or safety. Items falling into this category can frequently be addressed by a **handyman or qualified licensed contractor** and are not considered routine maintenance (DIY) items. All "**Attention Required**" items should be evaluated before the close of the contingency period.

Safety Item = The item, component or system poses a **safety concern** to occupants in or around the home. Some listed concerns will be considered acceptable for the time period of construction but pose a current risk. Items may vary in severity, and require attention from either a **homeowner/handyman** (for example, replacing smoke detector batteries or installing CO detectors), **or a qualified licensed professional**.

-OR-

Defective = The item, component or system is **not functioning** as intended, and requires further evaluation and/or repair by a **specialized, qualified, licensed contractor**. Damage to the structure may occur if left unaddressed. All "**Defective**" items are considered high-priority, and should be evaluated before the close of the contingency period. Items, components, or units that can be repaired to satisfactory condition may not need replacement.

2: INSPECTION / PROPERTY DETAILS

Information

General: In Attendance

Clients, Inspectors

General: Building Type

Single Family

General: Occupancy

Occupied, Furnished

General: Utilities

All Utilities On

General: Temperature

60-70 F

General: Weather Conditions

Overcast

3: MISC. CONCERNS / COMMENTS

Information

Misc. Concerns / Comments: Occupied and/or Furnished

Areas of the property were obscured or access was obstructed by furniture and/or stored items. The inspector does not move furnishings, personal belongings, carpets or appliances. Any areas not readily accessible are excluded from the inspection. Be aware that hidden damage or problems may be present and special attention should be taken when conducting the final walk through.

Misc. Concerns / Comments: Pre Listing Inspection

This is a pre listing inspection report. The scope of this inspection will be agreed upon by the client(s) and Aztec. Any comments made in this report regarding other systems and components are only a courtesy and do not represent the condition of those entire systems or components. Any potential buyers of this property are advised to get their own inspection report.

Misc. Concerns / Comments: Ocean Proximity Corrosion

Rust and corrosion is possible at several areas. This is consistent with homes close to the ocean. Continuing maintenance will be needed to protect items that may be affected by the ocean air.

Findings

3.1.1 Misc. Concerns / Comments

UNIDENTIFIABLE BIOLOGICAL GROWTH

DETACHED GYM

Apparent mold was present and is a potential health concern. We recommend having the area(s) tested for mold. Our company can provide this service if desired. Recommend repair by a qualified contractor.

Recommendation

Contact a qualified professional.



Safety Item/Defective





3.1.2 Misc. Concerns / Comments

INSECT EVIDENCE

LAUNDRY AND 1ST FLOOR HALF BATH

Evidence of insects were found around the house. Consult with the property owner about this. A qualified person should make repairs to seal openings in the structure, set traps or perform treatment.

Recommendation

Contact a qualified pest control specialist.



Attention Required



3.1.3 Misc. Concerns / Comments

20+ YEARS NOTE

NOTE: This home is more than 20 years old: The client must understand that any original components in the house are very likely worn. Home inspectors do not predict the life remaining of any component. Original items that may be nearing the end of their useful life, and may require maintenance or replacement in the near future include the roof and/or the roof underlayment, window rollers/glides, appliances, garage doors, and plumbing components, pool equipment, and surface, tile shower enclosures. It is important that you understand this, also the residence that you are buying happens to be older than 15 years, and not conform to many current codes. A home inspection is "non-invasive" and essentially visual and, intended to alert consumers on "material defects" that exist at the time of an inspection, defects that could significantly affect the value of a property or pose a threat to health and safety. A property inspection is not technically exhaustive, and is not intended to be, and will not reveal every defect and deficiency. Some defects may be latent, and/or become apparent at a later point in time, which is why inspections have been sensibly characterized as snapshots in time. And it is essential that consumers understand this and, thereby, have reasonable expectations.



Attention Required

Recommendation

Contact a qualified professional.

3.1.4 Misc. Concerns / Comments



SPEAKERS / SOUND SYSTEM(S) BEYOND SCOPE

The stereo system and or speakers is beyond the scope of this inspection. Further evaluation may be desired.

4: LOTS, GROUNDS & EXTERIOR

		IN	NI	NP	F
4.1	Driveways, Sidewalks, Patios				X
4.2	Drainage or Grading				X
4.3	Fences / Gates	X			
4.4	Exterior Walls / Trim				X
4.5	Eaves / Soffits	X			
4.6	Vegetation				X
4.7	Patio Cover(s) / Trellis(es)				X
4.8	Decks / Balconies / Stairs				X
4.9	Gas Fire Pit				X
4.10	BBQ Area				X
4.11	Water Feature(s)		X		

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

**Exterior Walls / Trim:
Construction Material**

Wood Frame

**Exterior Walls / Trim: Wall
Covering Material**

Stucco

Gas Fire Pit: Equipment Photo

This system is beyond the scope of this inspection as per the Standards of Practice set forth by CREIA (California Real Estate Inspection Association).



BBQ Area: Equipment Photo

This system is beyond the scope of this inspection as per the Standards of Practice set forth by CREIA (California Real Estate Inspection Association).



Limitations

Driveways, Sidewalks, Patios

GROUND LIMITATIONS

The following items are beyond the scope of this inspection as per the CREIA standards. Any comments related to these items were mentioned as a courtesy and may have not been inspected in their entirety.

Detached buildings, outhouses, sheds, or other structures; retaining walls, fences, gates; subsurface drain systems, catch basins, concealed sump pumps; swimming pools, spas, pool safety equipment, saunas; weather-proof decking, water tightness or water-proof coating or membranes of decks or stairs; landscaping, tree roots, soil and soil erosion; irrigation systems, ponds, water features, fountains; sport courts, recreation equipment, playgrounds; seawalls, docks; retractable awnings; areas with less than 3 feet of vertical clearance below the exterior structures.

Drainage or Grading

HILLSIDE

This house is located within a hill setting. Geological or structural evaluations relating to and including the potential for earth movement, types of soil (expansive, clay, etc), and effectiveness of grading and soil preparation, are beyond the scope of our inspection. Home inspectors are generalists and not structural or geotechnical engineers. We advise consulting with a structural and/or geotechnical engineer if you are concerned by conditions about which you are aware, or if you would like additional information before the close of escrow.

Drainage or Grading

SURFACE DRAINS

Surface drains were noted and the inside of the drains could not be evaluated. Inquire with the seller as to the termination point(s) of the surface drains.

Exterior Walls / Trim

EXTERIOR LIMITATIONS

Readily accessible/visible areas of the exterior were inspected, which excludes areas that were obscured by vegetation, stored items, areas concealed by coverings, siding or trim, and areas that may be difficult to observe due to height.

Decks / Balconies / Stairs

SUBSTRUCTURE NOT EVALUATED

The sub structure could not be evaluated and further evaluation may be desired.

Decks / Balconies / Stairs

DRAINAGE NOT VERIFIED

Drainage cannot be verified and one or more areas. Further evaluation may be desired.

Decks / Balconies / Stairs

ENCLOSED OR UNACCESSIBLE AREAS BEYOND SCOPE

Underneath the surface(s) (decks, stairs or balconies) and any enclosed framing which is not visible or easily accessible to the inspector is beyond the scope of this inspection. Further evaluation may be desired.

Gas Fire Pit

FIRE PIT(S) BEYOND SCOPE

Notice : Underground pipes, pipes inside walls or concealed pipes cannot be judged for sizing, leaks or corrosion. The inspector does not tests for gas leaks.

Water Feature(s)

WATER FEATURE(S) AND COMPONENTS NOT INSPECTED

Beyond the scope of this inspection as per the Standards of Practice set forth by CREIA (California Real Estate Inspection Association).



Findings

4.1.1 Driveways, Sidewalks, Patios

CRACKS / DETERIORATION - REPAIR



Attention Required

Cracks, heaving, gaps, holes and/or deterioration was noted in one or more areas. A qualified contractor is recommended for further evaluation and repairs.

Recommendation

Contact a qualified concrete contractor.



4.1.2 Driveways, Sidewalks, Patios

POTENTIALLY SLIPPERY SURFACE



Attention Required

The surface was unusually slick in one or more areas. Determining if the surface is coarse enough for this application is beyond the scope of this inspection. This could be a safety hazard when wet.

Recommendation

Contact a qualified professional.



4.2.1 Drainage or Grading

Attention Required

IMPROPER GRADING / DRAINAGE AWAY FROM STRUCTURE

The perimeter grading does not slope down and away from the structure in one or more areas. No drainage was visible. This could trap water near the structure. Wet soil may cause the foundation to settle and possibly fail over time. Moisture intrusion is a possibility. Recommend having all soil and or hardscape so it slopes down and away from the structure properly or adding drainage as necessary using standard building practices.

Recommendation

Contact a qualified professional.

4.2.2 Drainage or Grading

Attention Required

PLANTER NOT SEPARATED FROM STRUCTURE

Planters in one or more areas do not appear to have the proper clearance (2") from the structure (above detached gym room). Unable to verify the planter has proper drainage installed. Further evaluation is recommended.

Recommendation

Recommend monitoring.



4.4.1 Exterior Walls / Trim

Attention Required

DAMAGED STUCCO

Damage was noted at the stucco. Advise further evaluation and repair by a licensed stucco contractor to help prevent moisture intrusion.

Recommendation

Contact a qualified professional.



4.6.1 Vegetation

**TREE NEAR / CONTACTING BUILDING**

Tree(s) were in contact or in very close proximity to the structure in one or more areas. We recommend pruning/removal by a qualified tree service contractor to prevent future damage to the structure.

Recommendation

Contact a qualified tree service company.

4.6.2 Vegetation

**TREE NEAR FOUNDATION**

Tree(s) were noted in close proximity to the foundation. Tree roots can cause significant structural damage to foundations. A qualified tree service contractor is recommended for evaluation and repairs as necessary.

Recommendation

Contact a qualified tree service company.



4.6.3 Vegetation

**VEGETATION CONTACT / CLEARANCE**

Vegetation was in contact with and/or too close to the structure's exterior. This is a conducive condition for wood destroying organisms. Recommend pruning or removing vegetation as necessary so there is at least a one foot gap between all vegetation and the structure's exterior.

Recommendation

Contact a handyman or DIY project

4.7.1 Patio Cover(s) / Trellis(es)

**TERMITE INSPECTION RECOMMENDED - DAMAGED WOOD**

Damaged wood (could be from many different causes) was noted in one or more areas and a termite inspection is recommended.

Recommendation

Contact a qualified pest control specialist.



4.8.1 Decks / Balconies / Stairs

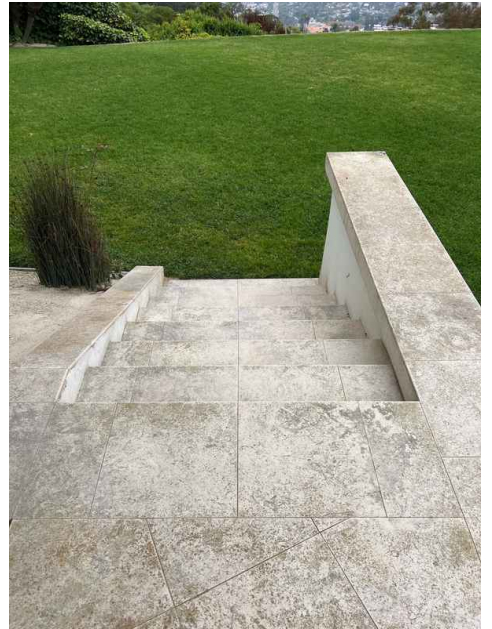
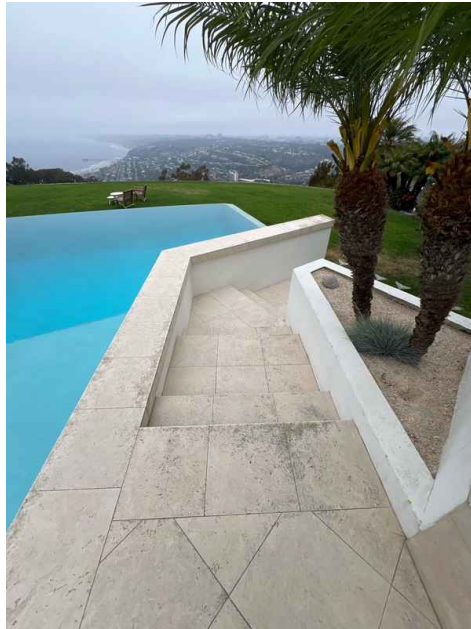
**MISSING HANDRAILS NOTED**

SEVERAL AREAS

Handrails and/or guard rails were missing in one more areas. Corrections are recommended for improved safety.

Recommendation

Contact a qualified professional.



4.8.2 Decks / Balconies / Stairs

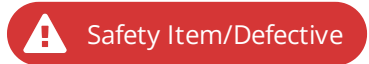
WALK OFF HAZARD(S) NOTED

SEVERAL AREAS

A walk off or drop off hazard was noted in one or more areas. Recommend installing guardrails for added safety. A qualified professional is recommended for further evaluation and/or repairs.

Recommendation

Contact a qualified professional.



Safety Item/Defective



4.8.3 Decks / Balconies / Stairs

Attention Required

RAIL(S) NOT UP TO TODAY'S HEIGHT REQUIREMENT

BALCONIES

Handrails and or guardrails do not appear to be tall enough to meet the current building standards in one or more areas (this has changed in the last few years). Alterations may be desired for added safety.

Recommendation

Contact a qualified professional.



4.8.4 Decks / Balconies / Stairs

Attention Required

TERMITE DROPPINGS

What appeared to be termite droppings were noted in one or more areas. These could be from prior activity. Further evaluation is recommended by a qualified and licensed pest control specialist.

Recommendation

Contact a qualified pest control specialist.



4.8.5 Decks / Balconies / Stairs

Attention Required

TILE CRACKED / GROUT LOOSE / CRACKED / DAMAGED / DETERIORATED

SEVERAL AREAS

Tile or grout in the flooring in one or more areas was loose, cracked, damaged and/or deteriorated. Recommend that a qualified contractor repair as necessary.

Recommendation

Contact a qualified flooring contractor



4.8.6 Decks / Balconies / Stairs

DECK / BALCONY CONSTRUCTED OVER LIVING SPACE

LIVING ROOM, EXTERIOR GYM



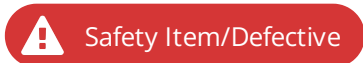
Note: A deck and/or balcony system was constructed over a living area making the underside inaccessible for a visual inspection.



4.8.7 Decks / Balconies / Stairs

SIGNS OF MOVEMENT NOTED

POOL EQUIPMENT



Signs of movement were noted in one or more areas. Further evaluation is recommended.

Recommendation

Contact a qualified professional engineer



4.10.1 BBQ Area

IGNITER NOT OPERATIONAL

LARGE GRILL

The igniter was not properly operational. Correction is recommended.

Recommendation

Contact a qualified professional.



4.10.2 BBQ Area

DIRTY GRILL

SEVERAL AREAS

The barbecue area appeared to be in need of a cleaning in degreasing. Advise correct and repair by a qualified cleaning service or professional.

Recommendation

Contact a qualified professional.



5: FOUNDATION

		IN	NI	NP	F
5.1	Foundation				X
5.2	Seismic Re-Inforcement		X		

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

Foundation: Foundation Type

Concrete Slab on Grade

Foundation: Foundation / Stem

Wall Material

Concrete

Foundation: Footing Material

Concrete slab

Seismic Re-Inforcement: Anchor

Bolts / Hold Downs

Not visible

Limitations

Foundation

FOUNDATION LIMITATIONS

The inspector performs a visual inspection of accessible components or systems of the foundation. Items excluded from this inspection include below-grade foundation walls and footings; foundations, exterior surfaces or components obscured by vegetation, stored items or debris. This may limit a full evaluation. Regarding foundations, some amount of cracking is normal in concrete slabs and foundation walls due to shrinkage and drying. Note that the inspector does not determine the adequacy of seismic reinforcement. This inspection does not include geological conditions or site stability information. For information concerning these conditions, a geologist or civil engineer should be consulted.

Foundation

HILLSIDE NOTICE

The property was built on or near a hillside. The slab was not fully visible due to flooring installed. No readily visible issues were noted at the time of the inspection but the client(s) may wish to consult with a civil engineer to verify (measure elevations of the slab) that significant movement has not occurred.

Seismic Re-Inforcement

FOUNDATION LIKELY BOLTED

The home is likely bolted to the foundation. However, drywall was in place at the time of the inspection. Bolts could not be viewed because of this. Confirmation by a licensed foundation contractor is recommended.

Findings

5.1.1 Foundation

**LIMITED VIEW OF FOUNDATION**

Due to floor coverings, vegetation, siding or other obstructions, not all areas of the foundation were visible. Our review of the home's foundation is limited. You may wish to have this further explored by a licensed foundation contractor and/or a licensed structural engineer to determine if any latent defects exist.

Recommendation

Contact a qualified professional.

6: ROOF

		IN	NI	NP	F
6.1	General	X			
6.2	Coverings				X
6.3	Flashings				X
6.4	Skylights, Chimneys & Other Roof Penetrations				X
6.5	Roof Drainage Systems				X

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

General: Inspection Method

From ground, Drone

General: Roofing Material

Concrete, Tile, Asphalt, Rolled

General: Flashing Material

Metal, Mortar, Partially Visible

General: View of Roof

View of roof.



Limitations

General

ROOF LIMITATIONS

This is a general condition report on the roof condition and materials. The home inspector is a generalist and for a more detailed report, the client may wish to hire a qualified licensed roofing contractor for a roof certification and/or a leak-tight warranty. Skylight(s), flashings and roof(s) are not water tested for leaks. As part of your ongoing annual maintenance, a roof inspection is recommended.

General

ROOF INSPECTION LIMITED

Some conditions may have limited the inspector's ability to fully evaluate the roof. An attempt is made to fully traverse the roof surface, however, the roof type and/or configuration may have prevented an in depth inspection.

General

ROOF NOT WALKED ON DUE TO MATERIAL

The roof was not fully visible due to the type of roofing material. This material is not walked on because the material can be easily damaged. Roofers typically walk on these roofs because they have the means and capabilities to easily and inexpensively replace any damaged material. Further evaluation by a qualified and licensed roofer may be desired to get a more through inspection of the roof condition and installation.

General

DRONE INSPECTION LIMITATIONS

Drone inspections are not as thorough as walking on the roof. This roof was not fully traversed and further evaluation may be desired by a qualified and licensed roofer.

General

ROOF NOT WALKED ON DUE TO STEEP SLOPE OR HEIGHT

The roof was not walked due to the steep slope and/or height. Further evaluation by a qualified and licensed roofer may be desired to get a more through inspection of the roof condition and installation.

Coverings

ROOF INSPECTION LIMITATIONS

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Coverings

ROOF INSPECTED FROM THE GROUND

Tile roof covering was inspected from the ground and attic to avoid damaging the roof covering, and possibly voiding the warranty. This is in accordance with the InterNachi standards of practice. The entire roof was not visible. I cannot guarantee that all of the tiles, flashings, underlayment and roof penetrations are in good condition. We recommend further evaluation by a licensed roof contractor before the end of your contingency period to determine if latent defects exist.

Flashings

FLASHING LIMITED VIEW

The inspection of the roof penetrations was limited to what could be seen from the inspector's vantage points. We cannot guarantee that all the roof penetrations are in good condition. We highly recommend contacting a licensed roof contractor for further evaluation.

Skylights, Chimneys & Other Roof Penetrations

NOT FULLY VISIBLE

These items were not fully visible due to the type of roof which we do not walk on due to potential damage. Further evaluation may be desired.

Roof Drainage Systems

GUTTER / DOWNSPOUT ADEQUACY BEYOND SCOPE

Gutter and/or downspout adequacy or calculating adequacy is beyond the scope of this inspection. Further evaluation may be desired.

Findings

6.2.1 Coverings

Attention Required**TILE ROOF AGE**

The tile roof appears to be 25 years old or more. Tile roofs of this age may have an underlayment that is near the end of its expected life. It is important to understand that the underlayment commonly known as "tar paper" has a life span that may be limited to 25 years depending on quality of materials, installation, sun exposure, ventilation of the attic, and maintenance. Replacing the underlayment can be costly. Since home inspectors do not lift roof tiles, you should have the roof evaluated by a licensed roof contractor to obtain an estimate of life remaining, or the cost of repair/replacement before the close of your contingency period.

Recommendation

Contact a qualified roofing professional.



6.2.2 Coverings

Attention Required**TILE INSTALLED ON A FLAT / LOW PITCH ROOF**

REAR EXTERIOR POOL AREA COVERING

Most manufacturers of composition shingles will only warranty the tile if installed on a roof with no less than a 3/12 (3 inches rise for every 12 inches run). The tile at the property were installed on a roof slope that was less than or very close to a 3/12 pitch. This installation can be conducive to leaks due to the minimal slope and ability to shed water. At a minimum, monitoring this area for signs of water intrusion is recommended. A qualified roofer should evaluate and repair per standing building practices which could involve a roof material approved for low slope roofs.

Recommendation

Contact a qualified roofing professional.



6.2.3 Coverings



Attention Required

EVIDENCE OF PREVIOUS REPAIR

Evidence of previous repairs were noted in one or more areas of this roof. This may be indicative of a past roof leak. Unable to determine if the current repairs are adequate. We recommend asking the sellers for documentation showing these repairs were completed by a licensed roof contractor. If documentation is not available, we recommend having the roof further evaluated by a licensed roof contractor before the end of your contingency period to determine if latent defects exist.

Recommendation

Contact the seller for more info



6.2.4 Coverings



Attention Required

UNDERLAYMENT AGE UNKNOWN

Unable to determine the age of the underlayment located under the tiles. Advise consulting a qualified roofing contractor to determine if any corrections are needed at this time.

Recommendation

Contact a qualified professional.



6.2.5 Coverings

Attention Required

TREE / VEGETATION NEAR

Trees and or vegetation was noted close to the roof. Recommend ongoing maintenance to keep the vegetation and or trees 10 feet away from the roof.

Recommendation

Contact a qualified landscaping contractor



6.2.6 Coverings

Attention Required

EXTRA TILES - POTENTIAL SAFETY CONCERN

Extra tiles were left on the roof (loose) which could be a fall off hazard. Removal is recommended.

Recommendation

Contact a qualified professional.



6.3.1 Flashings

Attention Required

MORTAR FLASHING PRESENT

Mortar (no metal flashing visible) has been used around several roof penetration which might have been typical for the age but is not up to today's standards. These are prone to cracking and require ongoing maintenance. Keep in mind that metal flashing could be installed below where it is not visible. Unable to properly view.

Recommendation

Contact a qualified roofing professional.



6.5.1 Roof Drainage Systems

DEBRIS IN GUTTER(S) AND/OR DOWNSPOUT(S)

SEVERAL AREAS

Leaves, pine needles, gravel or debris has accumulated in one or more gutters and/or downspouts. To prevent accumulation of water from overflowing gutters; cleaning is recommended. A qualified handyman is recommended for gutter cleaning.

Recommendation

Contact a handyman or DIY project



Attention Required



7: ATTIC, INSULATION & VENTILATION

		IN	NI	NP	F
7.1	Access	X			
7.2	Structure, Framing & Sheathing	X			
7.3	Insulation, Ventilation, and Exhaust				X

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

Access: Access Location(s)
Master Bedroom Closet

Access: How Viewed
Traversed

Access: Attic Views



Structure, Framing & Sheathing: Types
Plywood Sheathing, Conventional Framing

Insulation, Ventilation, and Exhaust: Insulation Type
Batts/Blankets

Insulation, Ventilation, and Exhaust: Approx. Insulation Depth
8-10"

Insulation, Ventilation, and Exhaust: Ventilation Type
Roof vents, Soffit / Eave vents

Limitations

Access

ATTIC LIMITATIONS

Areas that could not be traversed or viewed clearly due to lack of access, areas covered with insulation or obscured by limited height, areas or components obscured by stored items are beyond the scope of this inspection. Any comments made regarding these items are made as a courtesy only. The inspector does not determine the adequacy of the attic ventilation system. The inspector is not an engineer and does not determine the adequacy of roof structure components such as rafters, trusses or ceiling beams, or their spacing / sizing.

Insulation, Ventilation, and Exhaust

INSULATION/VENTILATION LIMITATIONS

The insulation and ventilation of the home was inspected and reported on with the above information. Only the visible areas of insulation and ventilation were inspected. Wall insulation type and value could not be verified. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings).

Insulation, Ventilation, and Exhaust

CALCULATING VENTILATION ADEQUACY BEYOND SCOPE

Calculating the ventilation adequacy is beyond the scope of this inspection. Further evaluation may be desired.

Findings

7.3.1 Insulation, Ventilation, and Exhaust



SUBSTANDARD VENTILATION

Attic ventilation at one or more areas appeared to be substandard (insufficient based on today's standards). This could reduce the useful life of the roof, potential for moisture accumulation among other issues. A qualified professional is recommended for further evaluation and/or repairs.

Recommendation

Contact a qualified roofing professional.

8: PLUMBING

		IN	NI	NP	F
8.1	Excluded Items		X		
8.2	Service	X			
8.3	Supply Lines / Hose Bibs				X
8.4	Drain, Waste, & Vent Systems				X
8.5	Water Heater(s)				X
8.6	Sinks / Fixtures				X
8.7	Bathtubs / Showers				X
8.8	Toilets	X			
8.9	Laundry				X
8.10	Exhaust Fans / Ventilation				X
8.11	Fuel Systems				X
8.12	Irrigation		X		X

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

Service: Water meter location

By street



Service: Water Service Type

Public

Service: Water Service Material

Copper, Unknown / Not Visible

Service: Water Shut-Off Location

Exterior



Service: Main Size

2"

Service: Pressure Regulator

Present

Yes

Service: Sewer Type

Public

Supply Lines / Hose Bibs:

Materials

Copper, Unknown, Not Fully Visible

Drain, Waste, & Vent Systems:

Waste and Vent Materials

ABS, Unknown / Not Visible

Drain, Waste, & Vent Systems:

Clean-out Location(s)

Driveway

Water Heater(s): Energy Source /

Type

Tankless, Natural gas, Tank

Water Heater(s): Capacity

Tankless, 75 Gal



Water Heater(s): Location

Hall closet, 1st floor closet, Gym Room

Water Heater(s): Thermal Image - Laundry: Information**Water Heater Operational**

240 Volt Electric, Gas

Thermal image of the water heater producing hot water.

**Exhaust Fans / Ventilation: Type**

Window, Exhaust fan

Fuel Systems: Equipment Photo**Fuel Systems: Fuel Service Type**

Natural Gas

Fuel Systems: Main Gas Shut-off**Location**

Gas Meter

Excluded Items: Irrigation / Sprinklers - Not Inspected

Note: This property appeared to have a yard irrigation (sprinkler) system and is excluded from this inspection. Comments in this report related to this system are made as a courtesy only and are not meant to be a substitute for a full evaluation. When this system is operated, recommend verifying that water is not directed at building exteriors, or directed so water accumulates around building foundations. Sprinkler heads may need to be adjusted, replaced or disabled. Consider having a qualified plumber verify that a backflow prevention device is installed per standard building practices to prevent cross-contamination of potable water. We recommend that a qualified specialist evaluate the irrigation system for other defects (e.g. leaks, damaged or malfunctioning sprinkler heads) and repair if necessary.

Service: Water Pressure

50-60 PSI

View of water pressure at the time of the inspection. 50 to 80 PSI is acceptable 60 to 75 PSI is ideal.

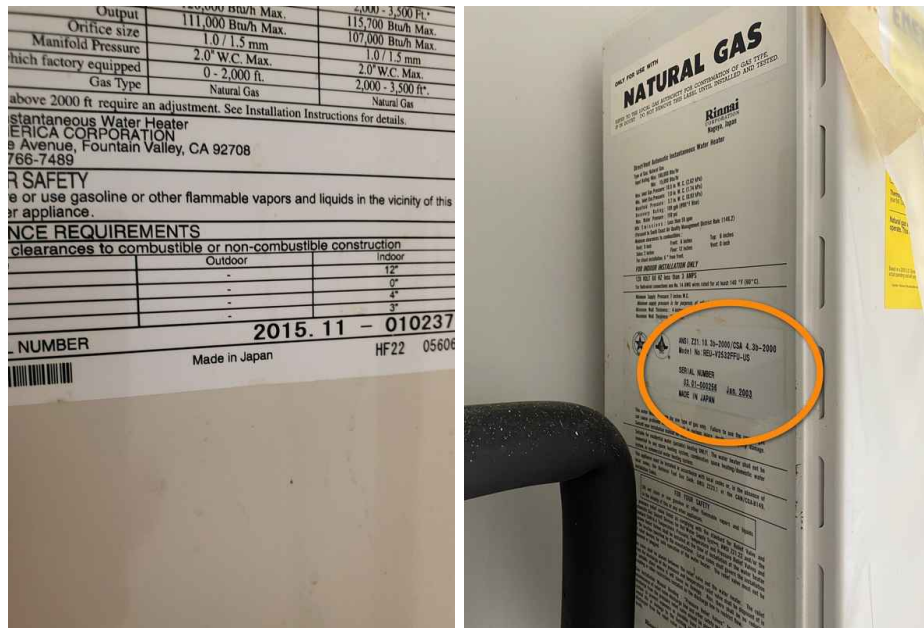


Water Heater(s): Equipment Photo



Water Heater(s): Estimated Mfg. Year

2003, 2015, 2017, Unknown



Water Heater(s): Tankless Information

Please note this house utilizes a tankless hot water system. Many factors must be determined when calculating the required or needed hot water demands to properly size the unit including but not limited to the maximum number of devices you want to run, the required temperature rise, and furthest distance the water must travel. It is beyond the scope of a limited visual inspection to determine if the tankless hot water heater is sized appropriately. Tank-less water heaters need routine maintenance, which typically involves flushing the water heater to reduce hard-water build up. We recommend asking the sellers if this unit has been recently serviced within the last 12-18 months. If not, we recommend the unit be serviced by a qualified professional. If adequate sizing is a concern, it is recommended the client consult with a qualified plumber or the manufacturer to determine adequacy.

Fuel Systems: Fuel Supply Piping Type

Steel

Manufacturers of yellow corrugated stainless steel tubing believe that yellow corrugated stainless steel tubing is safer if properly bonded and grounded as required by the manufacturers installation instructions. **Proper bonding and grounding of this product can only be determined by a licensed electrical contractor.**

Irrigation: Irrigation System - Not Inspected

Note: This property appeared to have a yard irrigation (sprinkler) system and is excluded from this inspection. Comments in this report related to this system are made as a courtesy only and are not meant to be a substitute for a full evaluation. When this system is operated, recommend verifying that water is not directed at building exteriors, or directed so water accumulates around building foundations. Sprinkler heads may need to be adjusted, replaced or disabled. Consider having a qualified plumber verify that a backflow prevention device is installed per standard building practices to prevent cross-contamination of potable water. We recommend that a qualified specialist evaluate the irrigation system for other defects (e.g. leaks, damaged or malfunctioning sprinkler heads) and repair if necessary.

Limitations

Excluded Items

PLUMBING SYSTEM LIMITATIONS

The following items are not included in this inspection: irrigation systems; private/shared wells and related equipment; private sewage disposal systems; hot tubs or spas; main, side and lateral sewer lines; gray water systems; pressure boosting systems; trap primers; incinerating or composting toilets; fire suppression systems; water softeners, conditioners or filtering systems; plumbing components concealed within the foundation or building structure, or in inaccessible areas such as below tubs; underground utilities and systems; overflow drains for tubs and sinks; backflow prevention devices; heated towel racks, saunas, steam generators, clothes washers, or clothes dryers. Any comments made regarding these items are mentioned as a courtesy only.

Note: The inspector does not operate water supply or shut-off valves due to the possibility of valves leaking or breaking when operated.

The inspector does not test for lead in the water supply, the water pipes or solder, does not determine if plumbing and fuel lines are adequately sized, and does not determine the existence or condition of underground or above-ground fuel tanks. The inspector does not determine if shower pans or tub and shower enclosures are water tight, or determine the completeness or operability of any gas piping to laundry appliances. Wall coverings, rugs, and contents in drawers and cabinets were not moved and may have prevented a complete inspection.

While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain lines, for example, cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection, but then fail under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Excluded Items

FIXTURE FLOW / CAPACITY NOT INSPECTED

The fixture(s) flow or capacity (determining if items are low flow based on today's standards or the real estate industry's definition of low flow) is beyond the scope of this inspection as per the industry standards.

Service

BACKFLOW PROTECTION NOT TESTED

Backflow prevention device was present but not tested at the time inspection.



Water Heater(s)

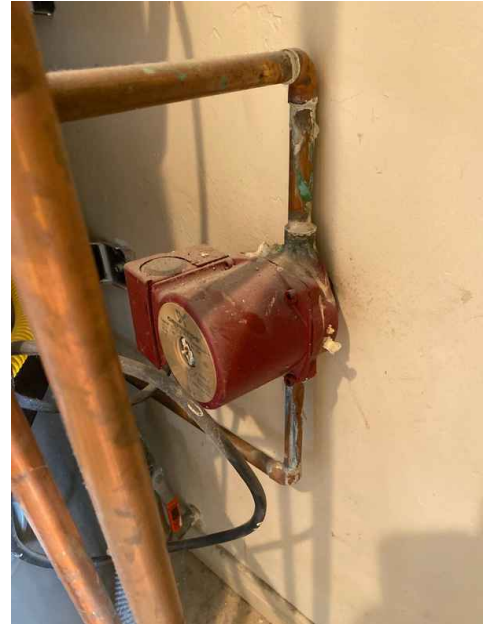
WATER HEATER LIMITATIONS

The local utility company (SDG&E) is recommended for a complimentary safety inspection of all gas-fired appliances prior to the close of the contingency period. Evaluation of and determining the adequacy or completeness of the following items are not included in this inspection: water recirculation pumps; solar water heating systems; Energy Smart or energy saver controls; catch pan drains. Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an estimate of remaining life on water heaters, does not determine if water heaters are appropriately sized, or perform any evaluations that require a pilot light to be lit or a shut-off valve to be operated.

Water Heater(s)

RECIRCULATING PUMPS / EXPANSION TANKS NOT INSPECTED

Hot water recirculating pumps and or expansion tanks are outside the scope of a home inspection. Recommend asking seller about this and/ or have further evaluated by a licensed plumber to determine if any corrections are needed at this time.



Bathtubs / Showers

BATHTUB/SHOWER LIMITATIONS

Tub overflow drains are beyond the scope of this inspection, as set forth by the [Standards of Practice](#). Determining if shower pans and shower enclosures are leaking is beyond the scope of this inspection. Steam units are beyond the scope of this inspection. The inspection may be limited due to personal belongings.

Laundry

LAUNDRY LIMITATIONS

The inspector does not determine the adequacy of washing machine drain lines, washing machine catch pan drain lines, or clothes dryer exhaust ducts. **Note:** Laundry appliances are beyond the scope of this inspection, as set forth by the [Standards of Practice](#).

Fuel Systems

GAS SUPPLY AND DISTRIBUTION LIMITATIONS

Please note: due to wall coverings, insulation, HVAC ductwork, buried lines or other obstructions, it was not possible to observe the entire gas supply and distribution system throughout this entire home. Damage to the piping can be present in a non-visible location. You may wish to have the gas supply and distribution system further explored by a licensed plumber contractor before the end of your contingency period to determine if any latent defects exist.

The local utility company (SDG&E) is recommended for a complimentary safety inspection of all gas-fired appliances prior to the close of the contingency period.

Findings

8.1.1 Excluded Items

INSTANT HOT WATER



Attention Required

Note: An instant hot water system was noted. These are specialty systems and are excluded from this inspection. Comments in this report related to this system are made as a courtesy only and are not meant to be a substitute for a full evaluation by a qualified specialist. Recommend consulting with the property owner about this system.

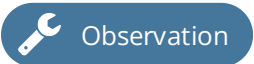
Recommendation

Contact a qualified professional.



8.1.2 Excluded Items

WATER SOFTENER / TREATMENT / FILTRATION DEVICE



Observation

A water softener system / water treatment device / water filter was installed on the premises. These are specialty systems and are excluded from this inspection. Comments in this report related to this system are made as a courtesy only and are not meant to be a substitute for a full evaluation by a qualified specialist. Water softeners typically work by removing unwanted minerals (e.g. calcium, magnesium) from the water supply. Recommend consulting with the property owner about this system to determine its condition, required maintenance, age, expected remaining life, etc.

Note: Water from a water softener system is not recommended for drinking due to its increased sodium content. If the system installed is a water softener (as opposed to a water treatment or filtration system), then we recommend confirming that a water filter is installed in conjunction with this device so that drinking water is present in the house.

Recommendation

Contact a qualified professional.

8.3.1 Supply Lines / Hose Bibs

OLD VALVES OR ANGLE STOPS



Attention Required

SEVERAL AREAS

Old water lines and or angle stops were noted in one or more areas. These are prone to leaking and replacement is recommended.

Recommendation

Contact a qualified professional.



8.4.1 Drain, Waste, & Vent Systems

RECOMMEND WASTE LINE VIDEO SCOPE

— Attention Required

We recommend that further inspection of the waste lines using a video scope device to determine if they need repair or replacement. Property owners are usually responsible for repairs to the side sewer and publicly owned lateral lines. Such repairs can be expensive.

Recommendation

Contact a qualified professional.

8.5.1 Water Heater(s)

SEDIMENT TRAP MISSING

— Attention Required

The gas line for the water heater is missing a sediment trap. Recommend further evaluation and repair by a licensed plumber.

Recommendation

Contact a qualified professional.



8.5.2 Water Heater(s)

 Attention Required**NO EXPANSION TANK**

No expansion tank was present. Expansion tanks allow for the thermal expansion of water in the pipes. These have been required in certain areas for new installs or replacement since 2012. Recommend a qualified plumber evaluate and install.

Recommendation

Contact a qualified plumbing contractor.

8.5.3 Water Heater(s)

 Attention Required**FITTING CORROSION**

One or more fittings on the water heater were corroded or rusted. This can indicate past leaks, or that leaks are likely to occur in the future. Recommend repairs be made by a qualified licensed plumbing contractor.

Recommendation

Contact a qualified plumbing contractor.



1st Floor Closet

8.5.4 Water Heater(s)

 Attention Required**LIFESPAN (8-12 YRS)**

The water heater appeared to be nearing the end of its expected lifespan. Client should consider replacing the water heater and/or budgeting for replacement in the near future.

Recommendation

Contact a qualified plumbing contractor.



8.5.5 Water Heater(s)

UNUSUALLY LONG WAIT FOR HOT WATER

SEVERAL AREAS

It took an unusually long time to get hot water in one or more areas. The client may wish to add a circulation pump. Correction is recommended.

Recommendation

Contact a qualified professional.



Attention Required

8.5.6 Water Heater(s)

CATCH PAN DRAIN NOT VISIBLE

1ST FLOOR HALL CLOSET

Unable to view a catch pan drain at the time of the inspection. Recommend confirming that a proper drain has been routed to the exterior.

Recommendation

Contact a qualified professional.



Attention Required

8.6.1 Sinks / Fixtures

DRAINED SLOWLY / CLOGGED

GYM ROOM

Sink(s) drained slowly or appeared clogged in one or more areas. Clearing the drain is recommended, and a qualified plumber may be needed if the condition does not improve.

Recommendation

Contact a qualified plumbing contractor.



Attention Required



8.6.2 Sinks / Fixtures



Attention Required

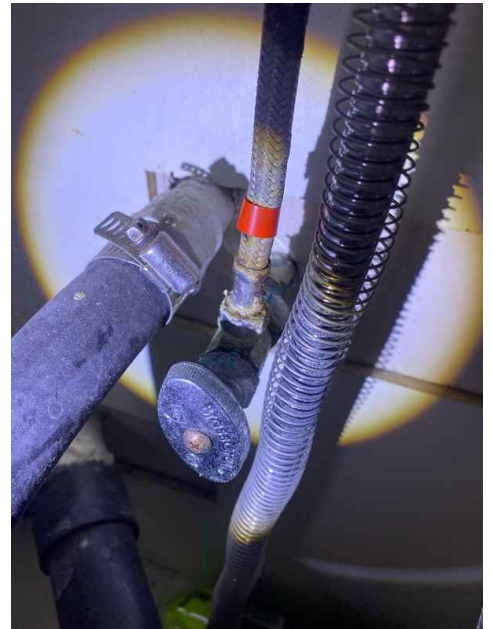
CORROSION / DAMAGE - ANGLE STOPS

SEVERAL AREAS

Some of the angle stops, shut off valves or supply lines under the sinks or behind the toilets appear to be corroding, damaged, or have mineral deposits or rust. This is indicative of a previous leak that has sealed itself. We recommend replacement by a licensed plumbing contractor.

Recommendation

Contact a qualified professional.



8.6.3 Sinks / Fixtures



Attention Required

FAUCET / HANDLES LOOSE

The sink faucet and/or handles were loose and should be resecured. Corrections are recommended.

Recommendation

Contact a qualified plumbing contractor.



Kitchen

8.6.4 Sinks / Fixtures



Attention Required

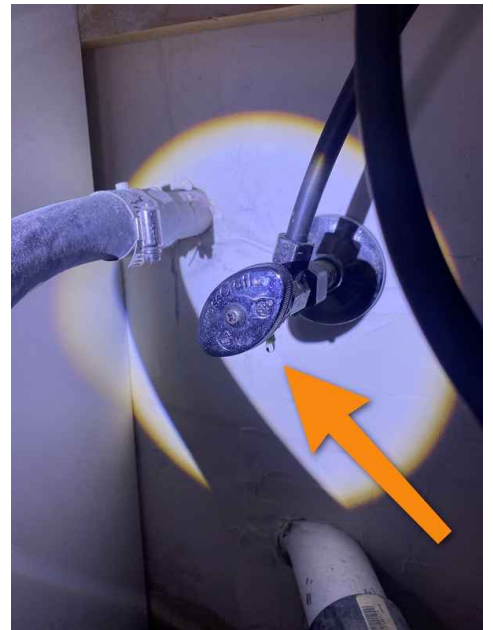
SHUT-OFF VALVE / SUPPLY LINE LEAKING

1ST FLOOR HALF BATHROOM

Leaking was noted at one or more shut-off valves and/or sink supply lines. A qualified plumbing contractor is recommended to evaluate and estimate repairs.

Recommendation

Contact a qualified plumbing contractor.



8.6.5 Sinks / Fixtures



Attention Required

SINK SPRAYER FAULTY

THEATER SINK

The sink sprayer was difficult to operate, not installed correctly and/or turned off. Recommend repairs be made by a qualified licensed plumbing contractor.

Recommendation

Contact a qualified plumbing contractor.



8.7.1 Bathtubs / Showers

LOOSE SHOWER HEAD

GYM/POOL BATH

Shower head was loose and leaking at the connections. Correction is recommended.

Recommendation

Contact a qualified professional.



Attention Required



8.7.2 Bathtubs / Showers

SHOWER PAN IMPROPER SLOPE

MASTER BATHROOM

The shower pan was not sloped properly so standing water was left in the pan. This will have the potential to cause microbial growth. Recommend a qualified contractor evaluate the showerpan and price for replacement with proper slope towards the drain.

Recommendation

Contact a qualified general contractor.



Attention Required



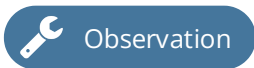
8.7.3 Bathtubs / Showers

STEAM SHOWER

Steam units are beyond the scope of this inspection. Further evaluation may be desired.

Recommendation

Contact a qualified professional.



8.9.1 Laundry

WATER LINES NOT BRAIDED METAL

Non braided metal water lines were noted. These water lines are more likely to leak and upgrades are highly recommended. Adding a water sensor in this area is also a good idea.

Recommendation

Contact a handyman or DIY project



8.9.2 Laundry

 Attention Required**UPGRADE 240 OUTLET**

A 3 slot receptacle was installed for the clothes dryer but most modern clothes dryers use a 4 slot receptacle. While 3 wire clothes dryer circuits were allowed prior to 1996 and are commonly still in use; they are not up today's safety standards. Note that this may require installing a new circuit wire. A qualified electrician is recommended for further evaluation and/or repairs.

Recommendation

Contact a qualified electrical contractor.



8.9.3 Laundry

 Attention Required**DRYER DUCT DAMAGED**

The clothes dryer duct was damaged. Recommend replacement.

Recommendation

Contact a qualified appliance repair professional.



8.10.1 Exhaust Fans / Ventilation

 Attention Required**EXHAUST FAN INOPERABLE**

GYM BATHROOM

One or more exhaust fans were inoperable. Recommend repairs by a qualified person.

Recommendation

Contact a qualified professional.



8.10.2 Exhaust Fans / Ventilation

EXHAUST FAN MISSING

1ST FLOOR HALF BATHROOM

One or more exhaust fans were missing. Today's building standards require exhaust fans in all wet locations.

Recommendation

Contact a qualified professional.



8.10.3 Exhaust Fans / Ventilation

MISSING COVER

GYM BATHROOM

A missing or improper cover was noted. Recommend installing vent cover to help prevent rodent intrusion.

Recommendation

Contact a qualified professional.



8.11.1 Fuel Systems

VALVE DAMAGED

BBQ AREA

Damage was noted at one or more valves. Replacement is recommended.

Recommendation

Contact a qualified plumbing contractor.



8.11.2 Fuel Systems

RIGID ALUMINUM GAS LINE

A rigid aluminum gas line was noted at one or more areas. A flexible gas pipe is typically required by today's standards for safety.

Recommend further evaluation by a licensed plumber before the end of your contingency period to determine repairs possible at this time.

Recommendation

Contact a qualified professional.



8.12.1 Irrigation

ADJUST/CONFIRM SPRAY

Attention Required

An irrigation system was noted at the property. Recommend confirming spray coverage and adjusting sprinkler heads so that no water is hitting the structure, walkways, and fencing.

Recommendation

Contact a handyman or DIY project

9: ELECTRICAL

		IN	NI	NP	F
9.1	Excluded Items		X		
9.2	Service		X		
9.3	Electrical Panel(s)				X
9.4	Breakers & Panel Wiring				X
9.5	GFCI / AFCI Protection				X
9.6	Electrical Wiring				X
9.7	Outlets / Switches / Lighting / Fans				X
9.8	Smoke Detectors / CO Alarms / Door Bell				X

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

Service: Information

Below ground

Service: Entrance Conductor Material

Copper, Unknown / Not Visible

Electrical Panel(s): Main Panel Location

Exterior

Electrical Panel(s): Panel Capacity

Unknown, Not Labelled

Electrical Panel(s): Main disconnect rating

200 AMP X 2

Breakers & Panel Wiring: Over Protection Devices

Breakers



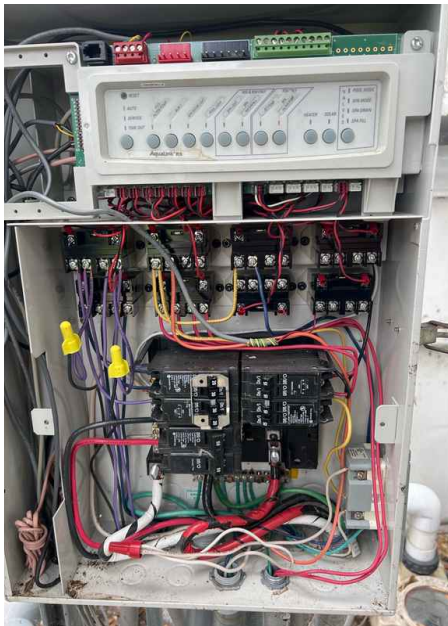
GFCI / AFCI Protection: GFCI Reset Location(s)

Bathrooms, Kitchen, Garage, Exterior

Electrical Wiring : Wiring Type

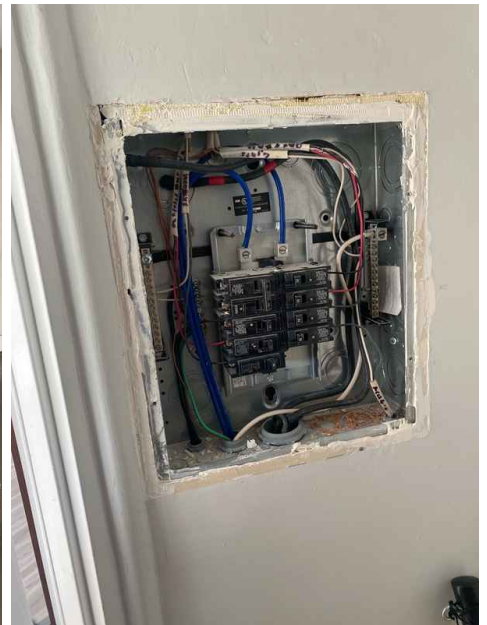
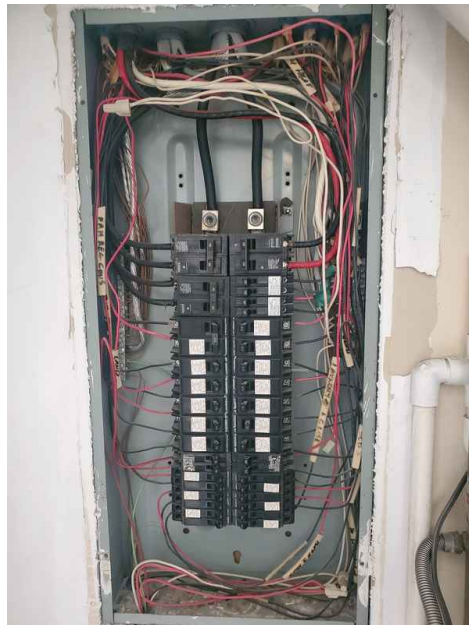
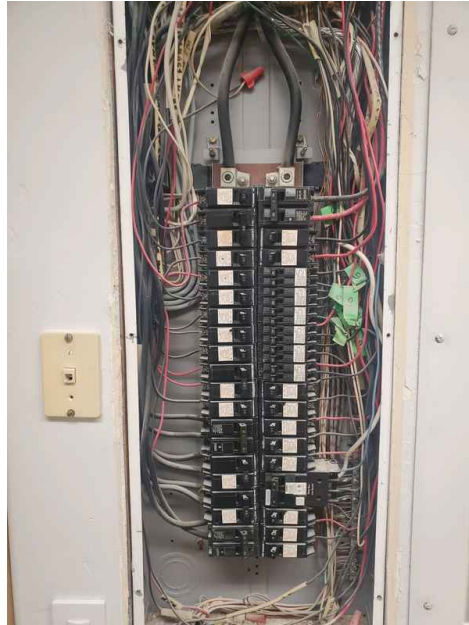
Copper

Electrical Panel(s): Panel Equipment Photographs



Electrical Panel(s): Sub Panel Location(s)

Kitchen pantry, Kitchen pantry, Garage, Detached Gym Room, Pool equipment area

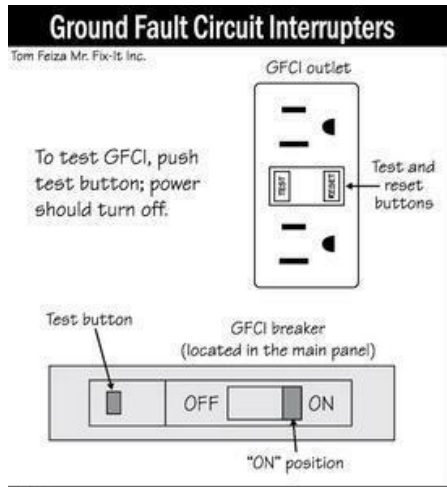


Gym Room

GFCI / AFCI Protection: GFCI protection present

Yes

A **Ground Fault Circuit Interrupter** (GFCI) - Is an ultra sensitive receptacle outlet and/or breaker designed to shut off all electric current. Used in bathrooms, kitchens, exterior waterproof outlets, garage outlets, and "wet areas" to prevent electrical shock. Has a small reset / test button on the receptacle and/or breaker.

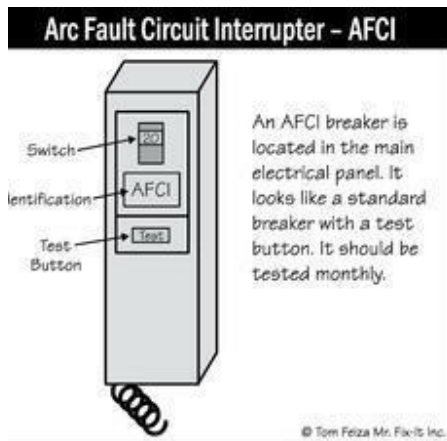


078

GFCI / AFCI Protection: AFCI protection present

No

An **Arc Fault Circuit Interrupter** (AFCI) is a **circuit breaker** that breaks the circuit when it detects an **electric arc** in the circuit it protects to prevent electrical fires. An AFCI selectively distinguishes between a harmless arc (incidental to normal operation of switches, plugs, and brushed motors), and a potentially dangerous arc (that can occur, for example, in a lamp cord which has a broken conductor).



020

Smoke Detectors / CO Alarms / Door Bell: Smoke Detectors in All Required Locations

No

Note: Smoke detectors are tested only for audibility and not tested using actual smoke.

Smoke Detectors / CO Alarms / Door Bell: Carbon Monoxide Alarm(s) in All Required Locations

Yes

Note: Carbon Monoxide alarms are tested only for audibility and not tested using actual Carbon Monoxide.

Limitations

Excluded Items

ELECTRICAL SYSTEM LIMITATIONS

Some parts of the electrical system are excluded from this inspection: inaccessible wiring, underground utilities and system, low-voltage lighting or lighting on timers or sensors, alarm systems, generators, intercom and audio systems. Any comments made regarding these items are as a courtesy only and further evaluation may be desired.

Excluded Items

LOW VOLTAGE LIGHTING NOT INSPECTED

Low voltage lighting is beyond the scope of the inspection.
Correction is recommended.



Excluded Items

FLOOR HEATING BEYOND SCOPE

Floor heating is beyond the scope of this inspection.
Further evaluation maybe desired.



Excluded Items

ENTERTAINMENT SPEAKERS

Entertainment systems, speakers and/or related items are beyond the scope of this inspection. Covers were missing and exposed wiring noted, pre-wired for speakers. Further evaluation maybe desired.

Breakers & Panel Wiring

LABELING ACCURACY NOT VERIFIED

Inspectors do not verify the accuracy of the labeling, but it appears to be typical. When the opportunity arises, we suggest verifying the labeling by manually operating the breakers.

Electrical Wiring

WIRING LIMITATIONS

Please note: due to wall coverings, insulation, HVAC ductwork or other obstructions, it was not possible to observe the branch circuit wiring throughout this entire home. Damage to the insulation or wiring itself can be present in a non-visible location. You should consider having the branch circuit wiring further explored by a licensed electrical contractor before the end of your contingency period to determine if any latent defects exist.

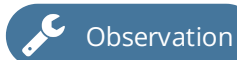
Smoke Detectors / CO Alarms / Door Bell

DETERMINING IF DETECTORS HARDWIRED

Determining if the units are hardwired is beyond the scope of this inspections.

Findings

9.1.1 Excluded Items

CABLE / SATELLITE / TELEPHONE / INTER COMMUNICATION / ALARM SYSTEMS

Observation

Note: If present, cable, satellite, telephone, inter communication and alarm systems are not inspected. Evaluating these systems are beyond the scope of a property inspection. Their condition is unknown, and they are excluded from this inspection. Recommend that a qualified specialist review these systems and make repairs if necessary.

Recommendation

Contact a qualified professional.



9.3.1 Electrical Panel(s)

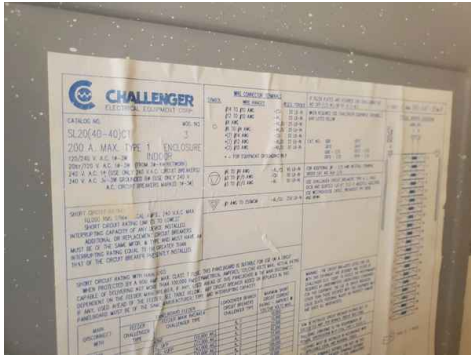
CHALLENGER PANEL

Safety Item/Defective

Challenger panels built and installed in the 1980s and 1990s were found to have an issue where overheating under normal conditions occurred at the metal "bus bar." We recommend consulting with a licensed electrician for further information.

Recommendation

Contact a qualified electrical contractor.



9.3.2 Electrical Panel(s)

IMPROPER WORK SPACE

Improper workspace was noted in front of the unit. Unit will be difficult to service and correction is recommended.

Recommendation

Contact a handyman or DIY project



9.4.1 Breakers & Panel Wiring

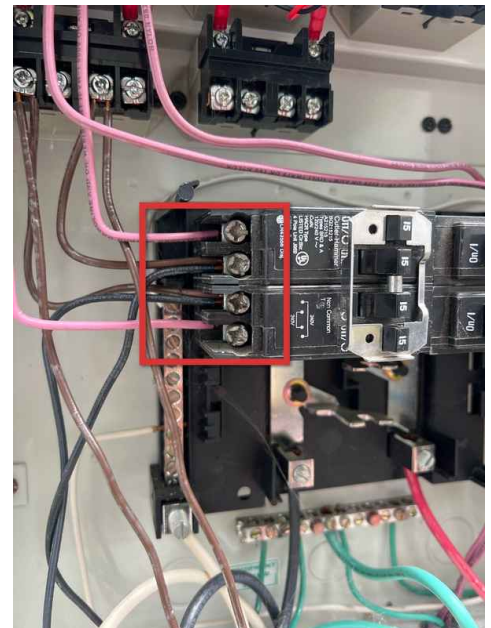
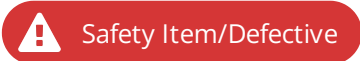
DOUBLE TAPPED BREAKER(S)

POOL SUB

Breakers at one or more areas were double tapped/double lugged. This means that two wires have been placed under the same screw on a circuit breaker. This is a safety hazard due to potential arcing, sparks or fire due to loose wire connections. A qualified electrician is recommended to make repairs as needed.

Recommendation

Contact a qualified electrical contractor.



9.5.1 GFCI / AFCI Protection

TRIPPED UPON ARRIVAL

LAUNDRY

One or more GFCI outlets were tripped upon arrival and would not reset. This outlet likely services the other bathrooms, garage and exterior outlets. Recommend further evaluation by a licensed electrician and correct as needed.

Recommendation

Contact a qualified electrical contractor.





9.5.2 GFCI / AFCI Protection



Attention Required

RECOMMEND GFCI UPGRADE

This house was built prior to the requirement for the installation of GFCI receptacles in certain locations in the house. The locations where GFCI receptacles are required has increased, but it is not required to retrofit older homes unless a remodel takes place. For safety, it is advisable to upgrade all receptacles within 6 feet of a plumbing fixture, in garage, all kitchen/laundry counter top outlets, and at exterior, to GFCI protected outlets. A complete list of GFCI installation requirements and the dates that they were first required can be viewed at GFCI Requirements

Recommendation

Contact a qualified professional.



9.6.1 Electrical Wiring



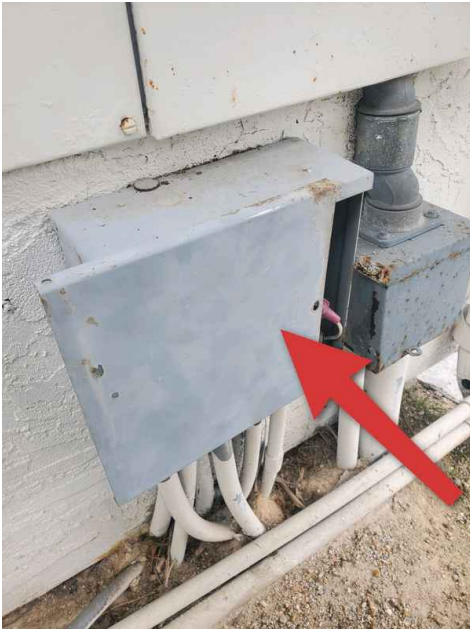
Safety Item/Defective

JUNCTION BOX COVER PLATES LOOSE, MISSING, BROKEN

A junction box cover plate was loose, missing and/or broken at one or more areas. This is a potential safety hazard. A qualified professional is recommended to install or replace cover plates as needed.

Recommendation

Contact a qualified electrical contractor.



9.6.2 Electrical Wiring



Attention Required

IMPROPER WIRE TERMINATION

Improperly terminated wires were noted in one or more areas. Correction is recommended for added safety.

Recommendation

Contact a qualified professional.



9.6.3 Electrical Wiring



Safety Item/Defective

OPEN SPLICE

RIGHT SIDE EXTERIOR

Open wire splices were observed at one or more location. All Romex connections must be enclosed in a covered junction box that is secured to a framing member of the house. Recommend further evaluation by a licensed electrical contractor before the end of your contingency period to determine repairs possible at this time.

Recommendation

Contact a qualified professional.



9.7.1 Outlets / Switches / Lighting / Fans

COVER PLATE(S) MISSING, LOOSE OR DAMAGED

Attention Required

SEVERAL AREAS

Cover plate(s) were missing, loose and/or damaged in one or more areas. These plates are intended to contain fire and prevent electric shock from occurring due to exposed wires. We recommend that a qualified person install cover plates where necessary.

Recommendation

Contact a qualified electrical contractor.



Breakfast Area



Laundry



Laundry

9.7.2 Outlets / Switches / Lighting / Fans



Safety Item/Defective

**SCORCHED / HEAT DAMAGED
OUTLET(S)**

GARAGE

Signs of scorching and/or overheating was noted at one or more outlets. This is a potential safety hazard. A qualified electrician is recommended to further evaluate and replace outlets as needed.

Recommendation

Contact a qualified electrical contractor.



9.7.3 Outlets / Switches / Lighting / Fans



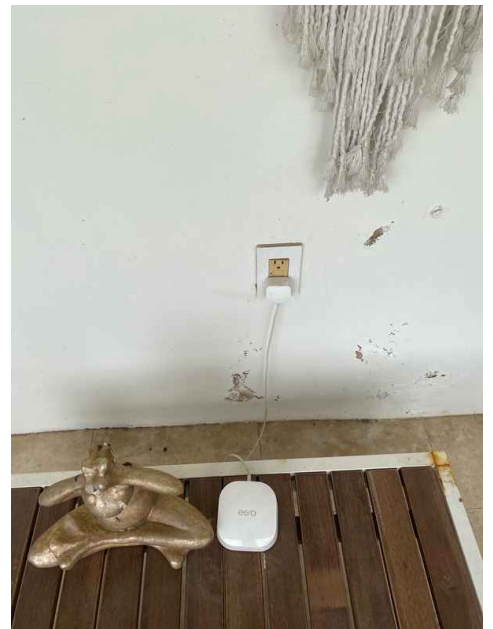
Safety Item/Defective

**EXTERIOR RATED COVER PLATE
DAMAGED / LOOSE / MISSING**

An exterior outlet cover was damaged, loose and/or missing at one or more areas. A qualified handyperson is recommended to replace outlet covers as needed.

Recommendation

Contact a qualified electrical contractor.



9.7.4 Outlets / Switches / Lighting / Fans



Attention Required

**CONTINUOUS IN USE COVER
MISSING**

One or more exterior receptacles are being used for appliances or systems that are constantly in use and aren't equipped with an "in-use" receptacle covers for wet locations. This is a safety hazard and poses a risk of both fire and shock. Recommend installing "in use" covers where necessary.

Recommendation

Contact a qualified handyman.



9.7.5 Outlets / Switches / Lighting / Fans



Attention Required

UNKNOWN SWITCH(ES)

Unable to determine function of one or more switches. Recommend inquiring with the seller or further evaluation by a licensed electrical contractor.

Recommendation

Contact a qualified electrical contractor.



9.7.6 Outlets / Switches / Lighting / Fans



Attention Required

SWITCH DAMAGED

BEDROOM #2 CLOSET

An electric switch was damaged at one or more areas. A qualified electrician is recommended to replace damaged switches where needed.


Recommendation

Contact a qualified electrical contractor.



9.7.7 Outlets / Switches / Lighting / Fans

MISSING FIXTURE - EXPOSED WIRES

 Safety Item/Defective

One or more missing fixtures were noted which are exposing wires. Correction is recommended for improved safety.


Recommendation

Contact a qualified professional.



9.8.1 Smoke Detectors / CO Alarms / Door Bell

SMOKE DETECTORS MISSING AT BEDROOM(S)

 Safety Item/Defective

We recommend installing additional smoke detectors in all bedrooms to comply with current fire and safety standards and regulations.

Recommendation

Contact a handyman or DIY project

10: HVAC

		IN	NI	NP	F
10.1	General				X
10.2	Heating (Forced Air)				X
10.3	Heat Lamp(s)	X			
10.4	Air Conditioning				X
10.5	Ducts and Registers				X
10.6	Filter(s) & Thermostat(s)				X

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

Heating (Forced Air): Location

Interior closet, Garage closet, Attic

Heat Lamp(s): Energy Source

Electric / lamp

Air Conditioning: Estimated Year

Mfg.
Unknown

Air Conditioning: Location

Exterior, Elevated Pad

Air Conditioning: System Type

Ductless / Mini split, 4 Split Systems

Heating (Forced Air): Equipment Photos**Heating (Forced Air): Energy source**

Natural gas, Water, Heat Pump

The local utility company (SDG&E) is recommended for a complimentary safety inspection of all gas-fired appliances prior to the close of the contingency period.

Heating (Forced Air): Estimated Year Mfg.

2003

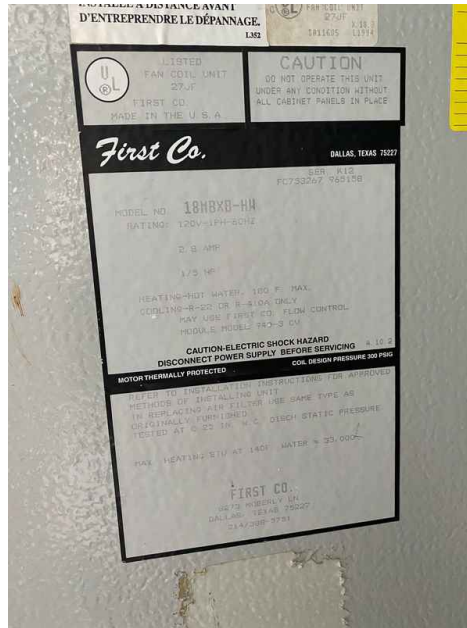
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SERIES / SERIE 170

SERIAL / SERIE 4503A12233

DATE OF MANUFACTURE **NOV 2003**

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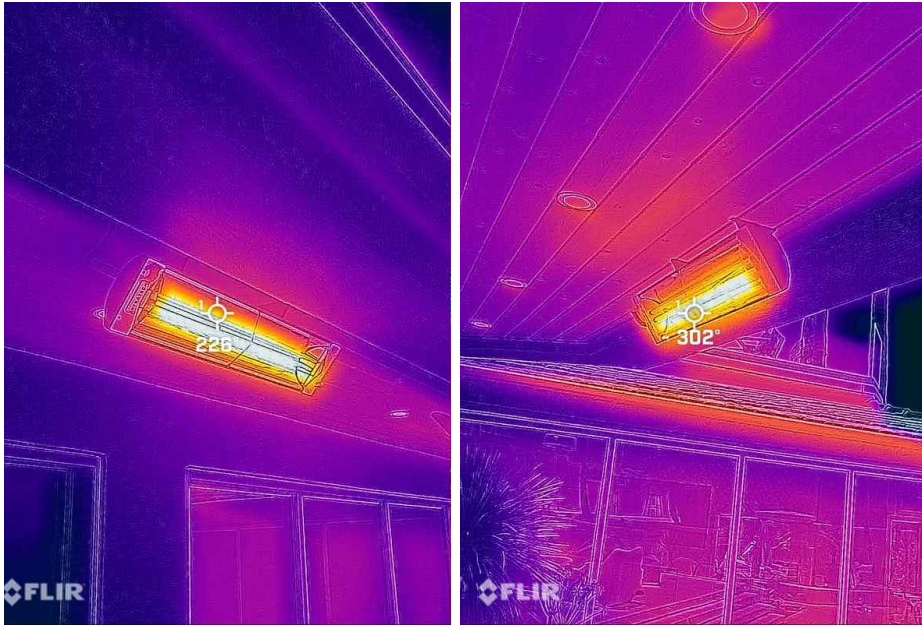


Heat Lamp(s): Equipment Photos



Heat Lamp(s): Individual Heater(s) Appear Functional

Note: Individual gas and/or electric heating system(s) appear to be functioning as intended. Below are thermal images of the heating systems during operation.



Air Conditioning: Equipment Photos



Filter(s) & Thermostat(s): Thermostat and Air Filter(s) Disclaimer

Thermostats are not checked for calibration or timed functions. Only the basic functions are tested. The adequacy of the air filter and or air filter size is beyond the scope of this inspection.

Limitations

General

HVAC LIMITATIONS

This inspection excludes estimate the remaining life of heating or cooling components, determine system suitability, or test certain aspects of the system or guarantee the integrity of furnace heat exchangers or the absence of clogs or leaks in condensation pans and drain lines. In buildings with furnishings, the presence of a heat source may not be verified in all "live-able" rooms. Testing air conditioners in colder seasons might provide inaccurate results due to system pressures.

Heating (Forced Air)

GAS APPLIANCES - SAFETY INSPECTION RECOMMENDED

The local utility company (SDG&E) is recommended for a complimentary safety inspection of all gas-fired appliances prior to the close of the contingency period.

Air Conditioning

THERMOSTAT ISSUE - NOT INSPECTED

GYM ROOM

The thermostat was not properly operational. Due to this, the HVAC system could not be operated. Recommend further evaluation and repair as necessary by a qualified HVAC contractor.

Ducts and Registers

HVAC DUCTING LIMITATIONS

Please note: due to wall or floor coverings, insulation, roof framing or other obstructions, it was not possible to observe the entire HVAC distribution system throughout this entire home. Damage to the ducting can be present in a non-visible location. You may wish to have the HVAC distribution system further explored by a licensed HVAC contractor before the end of your contingency period to determine if any latent defects exist.

Findings

10.1.1 General

SERVICE HEATING SYSTEM



Attention Required

The forced air system hasn't been serviced in over a year or has an unknown service date. We recommend asking the owner for the last service date. If it's over a year or unknown, advise getting an HVAC contractor to inspect, clean, and make necessary repairs. Future annual servicing is recommended for safety, and inform the contractor about any noted repairs.

Recommendation

Contact a qualified HVAC professional.

10.2.1 Heating (Forced Air)

THERMAL IMAGE(S) DURING OPERATION



Observation

Infrared picture(s) of unit(s) on. Unit(s) appeared operational at the time of the inspection.

Recommendation

Contact a qualified professional.



10.2.2 Heating (Forced Air)

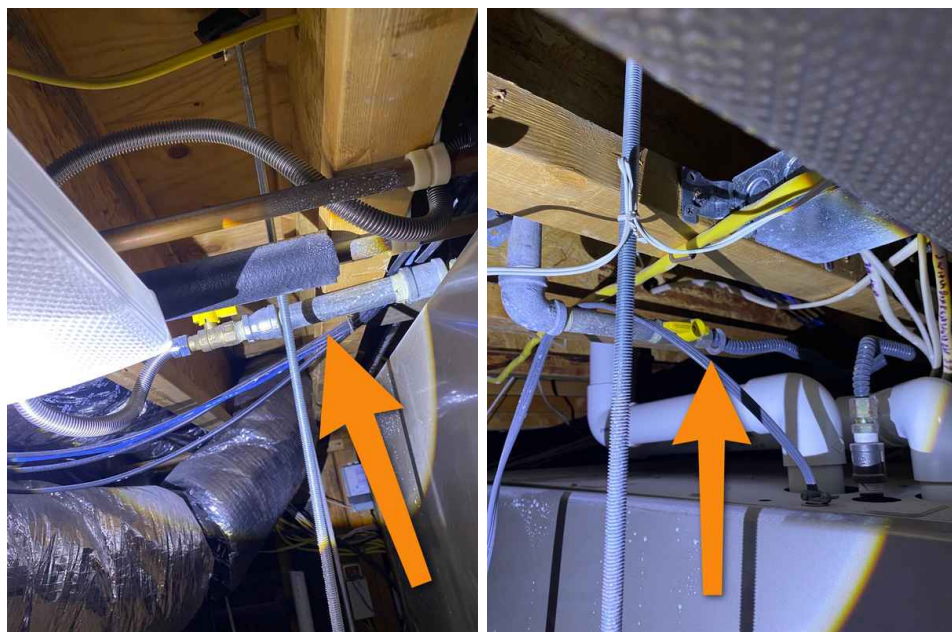
DRIP LEG (SEDIMENT TRAP) MISSING

Attention Required

The furnace is not equipped with a sediment trap (drip leg). We recommend further evaluation by a licensed HVAC contractor and correction as needed.

Recommendation

Contact a qualified HVAC professional.



10.2.3 Heating (Forced Air)

ACCESS COVER FASTENER MISSING / DAMAGED

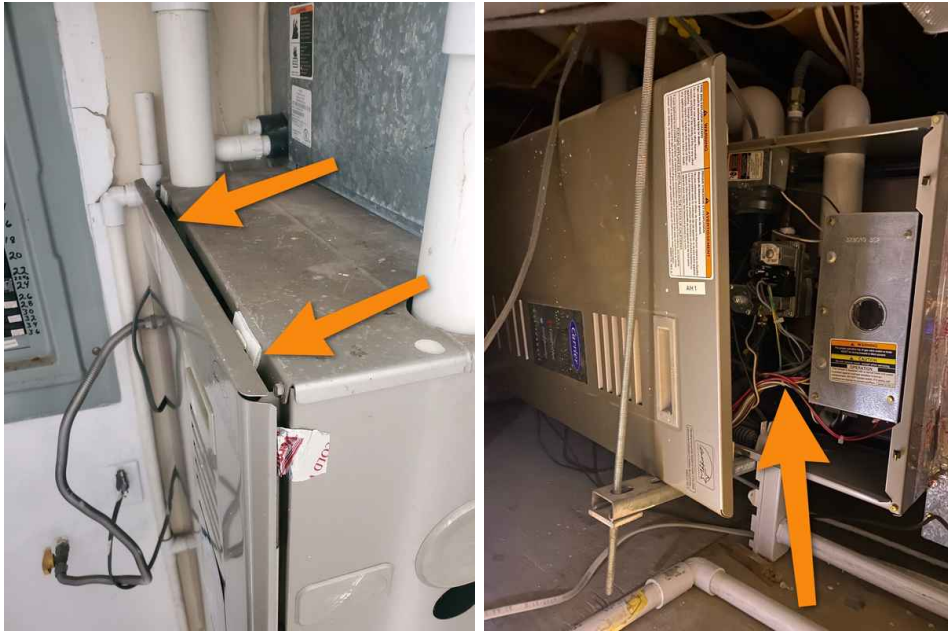
Attention Required

GARAGE UNIT, HALL BATHROOM ATTIC UNIT

Forced air unit access cover fastener missing or damaged. The cover cannot be fully secured. Recommend a new fastener be installed.

Recommendation

Contact a handyman or DIY project



10.2.4 Heating (Forced Air)

NEAR OR AT LIFESPAN (FORCED AIR)

⊖ Attention Required

The estimated useful life for most forced air furnace(s) is typically 15-20 years, but they often exceed this in Southern California's mild climate. This furnace seems to be nearing or past its lifespan, making replacement or major repairs imminent. Consider budgeting for replacement and schedule an evaluation within the contingency period. A home warranty is also advisable.

Recommendation

Recommend monitoring.

10.2.5 Heating (Forced Air)

UNUSUAL NOISE NOTED

1ST FLOOR BATHROOM ATTIC

An unusual noise was noted when testing the heat and further evaluation is recommended.

Recommendation

Contact a qualified professional.

⊖ Attention Required



10.2.6 Heating (Forced Air)

BEYOND LIFESPAN (NOT OPERATIONAL)

GYM ROOM

⚠ Safety Item/Defective

The forced air system was not operational at the time of this inspection, which could be due to a thermostat issue. The unit was unplugged at time of inspection. The unit is beyond its designed lifespan. A qualified licensed contractor is recommended to evaluate and estimate repairs/replacement.

Recommendation

Contact a qualified professional.

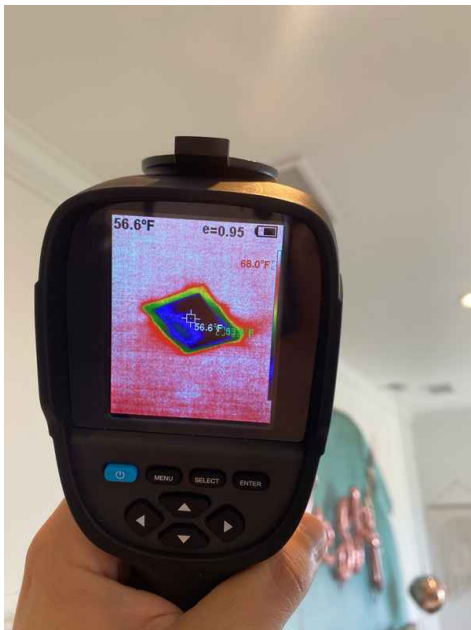


10.4.1 Air Conditioning

THERMAL IMAGE(S) DURING OPERATION


 Observation

Infrared picture(s) of unit(s) on. Unit(s) appeared operational at the time of the inspection.



10.4.2 Air Conditioning

END OF LIFESPAN (BEYOND 15 YEARS)

 Safety Item/Defective

By industry lifespan standards, one or more HVAC components appeared to be beyond its useful lifespan (~15 years) and may need replacing or significant repairs at any time. We recommend budgeting for a replacement in the near future or discussing replacement options with a qualified HVAC technician to determine applicable costs.

Recommendation

Contact a qualified HVAC professional.

10.4.3 Air Conditioning

Attention Required

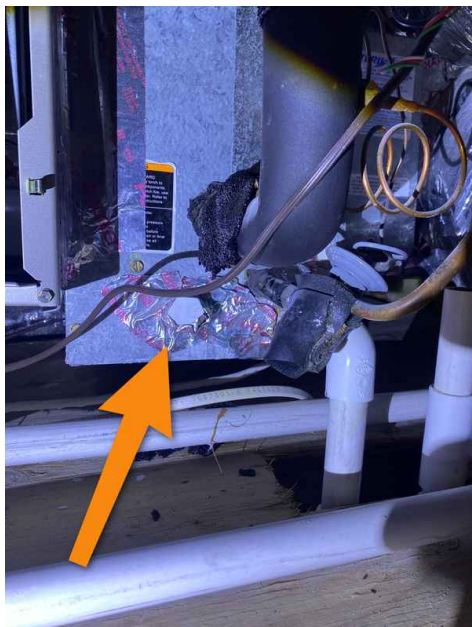
NO SECONDARY CONDENSATE DRAIN INSTALLED

SEVERAL AREAS

Only one condensate drain was noted at the time of the inspection. This is not up to today's standards and correction is recommended to prevent future water intrusion/damage.

Recommendation

Contact a qualified professional.



10.4.4 Air Conditioning

Attention Required

MISSING/WORN LABEL

The inspector was not able to determine the age and/or size of one or more components due to the manufacturer's label was faded or missing.

Recommendation

Contact a qualified professional.

10.4.5 Air Conditioning

Attention Required

NOT SECURED TO PAD

SEVERAL AREAS

The outside condenser unit was not secured to the equipment pad or the securing methods was substandard. Building standards require units to be secured to the pad to prevent damage, theft, and injury. Recommend a qualified person secure to the pad properly.

Recommendation

Contact a qualified HVAC professional.

10.4.6 Air Conditioning

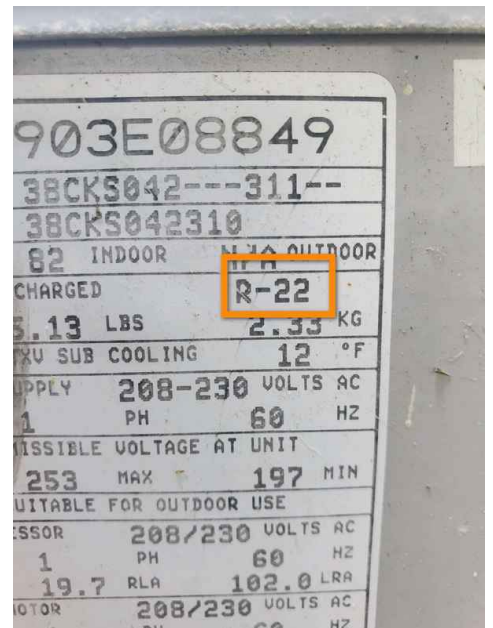
Attention Required

R 22 WARNING

The HVAC system currently utilizes R22 refrigerant. The U.S. Environmental Protection Agency (EPA) has mandated the phaseout of R-22 refrigerant (freon) through the Clean Air Act, which by 2020 the production of R-22 itself must cease.

Recommendation

Contact a qualified HVAC professional.



10.4.7 Air Conditioning

Attention Required

VEGETATION CLEARANCE

Vegetation near the heat pump or air conditioning condensing unit is too close, lacking the required 12-inch clearance on all sides and 4-6 feet above. Insufficient clearance may lead to lower efficiency, higher energy costs, and equipment damage. Recommend pruning or removing vegetation as needed.

Recommendation

Recommended DIY Project



10.4.8 Air Conditioning

AC NOT COOLING



Safety Item/Defective

The A/C compressor unit turned on and responded to the thermostat, However the temperature differential split between supply and return air did not reach the desired 14-22 degrees. Seek a licensed HVAC contractor for further evaluations and repairs.

Recommendation

Contact a qualified professional.



10.4.9 Air Conditioning

UNKNOWN AGE



Attention Required

The age of the unit could not be determined. It is unknown if the unit is nearing the end of its lifespan. Inquire with the seller for more information.

Recommendation

Contact a qualified professional.

10.4.10 Air Conditioning

Attention Required

NOT TESTED

GYM ROOM

The AC system was not tested due to the thermostat not working. Recommend verifying proper function once the thermostat is operational.

Recommendation

Contact a qualified professional.

10.5.1 Ducts and Registers

Observation

DUCT CLEANING

We always recommend cleaning of the ducting prior to taking occupancy. This will give you a start date for a proper maintenance schedule of the ducting/HVAC system.

Recommendation

Contact a qualified professional.

10.6.1 Filter(s) & Thermostat(s)

Attention Required

THERMOSTAT INOPERABLE

Thermostat was inoperable. Due to this, the HVAC system could not be operated. Recommend further evaluation and repair as necessary by a qualified HVAC contractor.

Recommendation

Contact a qualified HVAC professional.



11: INTERIOR, DOORS & WINDOWS

		IN	NI	NP	F
11.1	General				X
11.2	Exterior Doors				X
11.3	Interior Doors				X
11.4	Windows				X
11.5	Ceiling				X
11.6	Walls				X
11.7	Floors				X
11.8	Countertops & Cabinets				X
11.9	Stairs				X

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

Windows: Type

Sliding, Fixed, Single-pane, Swing
in / out, Metal, Wood

Walls: Some Walls Below Grade

Some walls are built below the soil grade and may be subject to moisture intrusion if they are not adequately sealed. It is beyond the scope of our inspection to verify the presence of moisture barriers. Recommend consulting a licensed grading contractor and waterproofing contractor to determine if latent defects exist.



Limitations

General

WATER TIGHTNESS NOT TESTED

Determining if the doors /windows and or their assemblies are water tight is beyond the scope of this inspection. Home inspectors are looking for obvious and visual deficiencies / defects. There are companies that can water test with spray rigs if desired.

General

INTERIOR LIMITATIONS

National standards of practice state that the inspector is not required to: A) Move any personal items or other obstructions such as but not limited to: throw rugs, carpeting, wall coverings, furniture, ceiling tiles, window coverings, equipment, plants, debris, water, dirt, or anything else that might restrict the visual inspection. B) Address normal wear and tear items, such as: dents, blemishes, dings, scuffs, nail-pops, hairline cracks or minor damage to walls, floors and ceilings.

General

INSULATION NOT DETERMINED

Determining the insulation value and/or the lack of insulation inside walls / ceilings is beyond the scope of this inspection. Further evaluation may be desired.

Windows

DIRTY WINDOWS

Windows were noted dirty and need cleaning in one or more locations. This can make it difficult to see defects. Further evaluation by a licensed window contractor may be desired.

Windows

SINGLE PANE WINDOWS

Single pane windows were noted. These windows are not energy efficient and replacement should be considered.

Windows

WINDOW COVERINGS

Windows coverings are beyond the scope of this inspection.

Countertops & Cabinets

OBSCURED BY STORED ITEMS

The countertops and/or areas below sink(s) were obscured by stored items and couldn't be fully evaluated.



Findings

11.1.1 General

HEAVILY OCCUPIED - NOT FULLY INSPECTED

— Attention Required

The interior was heavily occupied, and one or more areas were obscured or blocked by stored items and/or personal belongings. The inspector does not move personal belongings or furniture during the inspection. Further evaluation of these areas may be desired.

11.2.1 Exterior Doors

DAMAGE / DETERIORATION - REPAIR/REPLACE

— Attention Required

GYM ROOM

Damage and or deterioration was present at one or more areas. Repair or replacement is recommended.

Recommendation

Contact a qualified professional.



11.2.2 Exterior Doors

REFINISHING / PAINTING NEEDED

BEDROOM #5 EXTERIOR

An exterior door is in need of refinishing or painting. Recommend repairs be made by a qualified person.

Recommendation

Contact a qualified painting contractor.

Attention Required



11.2.3 Exterior Doors

PET DOOR INSTALLED

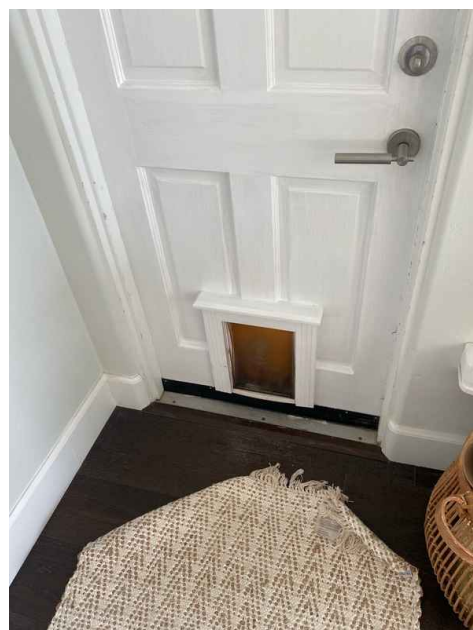
FAMILY ROOM

A pet door was installed in one or more areas. Determine if the installation of that specific pet door is proper is beyond the scope of this inspection. Removal and alterations may be desired for improved safety.

Recommendation

Contact a qualified professional.

Attention Required



11.2.4 Exterior Doors



RECOMMEND RE KEYING ALL EXTERIOR DOORS

We recommend re keying all the exterior doors for improved safety.

Recommendation

Contact a qualified professional.

11.3.1 Interior Doors

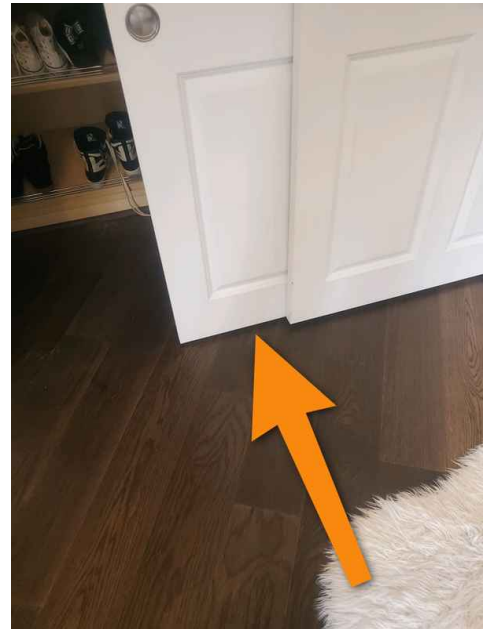


CLOSET DOOR(S) WITHOUT A BOTTOM TRACK

The closet doors in one or more locations were not on a bottom track. Recommend repair for proper functionality.

Recommendation

Contact a qualified handyman.



11.4.1 Windows



DIFFICULT TO OPEN / CLOSE

SEVERAL AREAS

One or more windows were difficult to open and close. Recommend repair by window contractor.

Recommendation

Contact a qualified window repair/installation contractor.



Family Room



Family Room



Laundry

11.4.2 Windows

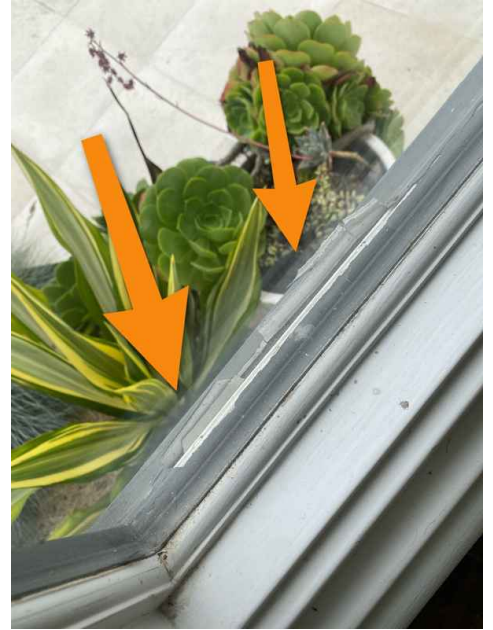
DAMAGED WINDOW FRAME

FAMILY ROOM

The window frame appears to be damaged in one or more areas. Recommend correcting and advise repair by licensed window contractor.

Recommendation

Contact a qualified professional.

 Attention Required

11.5.1 Ceiling

ASK OWNER ABOUT REPAIRS / PATCHING

GYM ROOM

Patches or evidence of prior repairs were noted in one or more areas. Recommend asking the owner about the repairs. Further evaluation may be desired.

Recommendation

Contact a qualified professional.

 Attention Required

11.6.1 Walls

ACTIVE MOISTURE INTRUSION NOTED

GYM/POOL BATH

Elevated moisture levels (beyond what is typical) were found in one or more areas. This appears to be due to an active moisture intrusion issue. Hidden damage and or mold are possible (areas not accessible to the inspector). A qualified professional is needed for further evaluation and/or repairs.

Recommendation

Contact a qualified professional.

 Safety Item/Defective



11.6.2 Walls

COMMON CRACKS / NAIL POPS / DETERIORATION NOTED

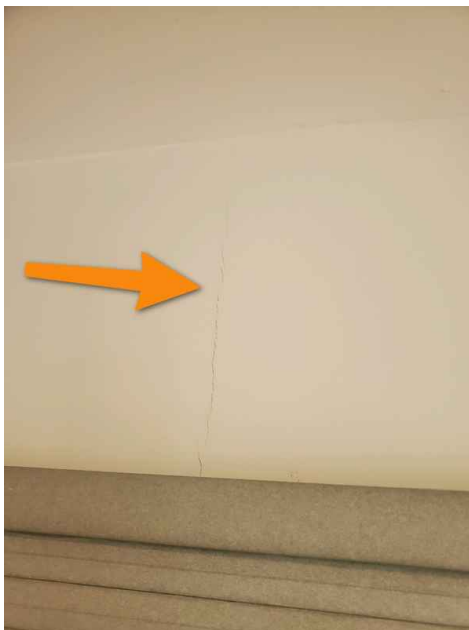
Attention Required

SEVERAL AREAS

Nail pops, common cracks, loose corner bead(s) and/or blemishes were found in one or more areas. These can be caused by lumber shrinkage or minor settlement and or seismic activity. They did not appear to be a structural concern but repairs or further evaluation may be desired.

Recommendation

Contact a handyman or DIY project



11.6.3 Walls

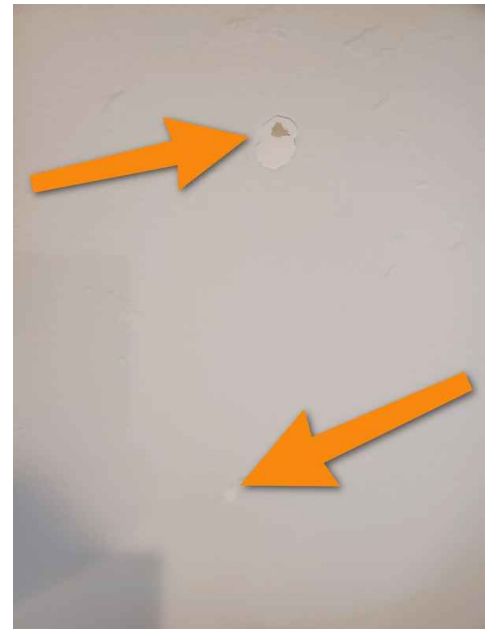
DAMAGE NOTED

Attention Required

Damage and or deterioration was present at one or more areas. Correction is recommended.

Recommendation

Contact a qualified drywall contractor.



11.7.1 Floors

TILE / GROUT LOOSE / CRACKED / DAMAGED / DETERIORATED

Attention Required

BEDROOM BATHROOM #3

Tile or grout in the flooring in one or more areas was loose, cracked, damaged and/or deteriorated. Recommend that a qualified contractor repair as necessary.

Recommendation

Contact a qualified flooring contractor



11.7.2 Floors

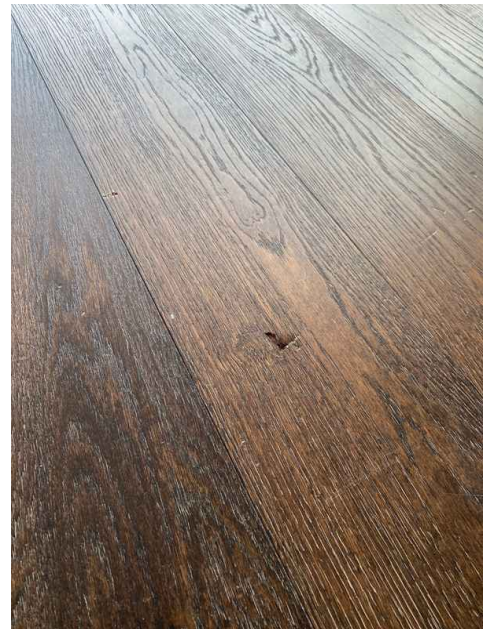
WOOD FLOOR DAMAGED

Attention Required

Wood flooring in one or more areas was deteriorated, worn and or damaged. A qualified professional maybe desired for further evaluation and/or repairs.

Recommendation

Contact a qualified flooring contractor



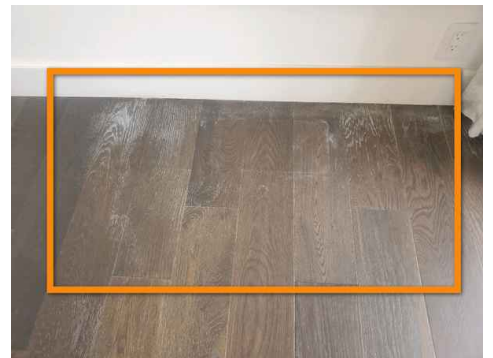
11.7.3 Floors

STAINED FLOORING - DRY DURING INSPECTION

Attention Required

BEDROOM #4

Stains were found in one or more areas. No elevated levels of moisture were noted at the time of the inspection. The stain(s) may be due to past leaks, cleaning, intrusion and or spills. Consult with the owner and monitor the stained area(s) in the future. The inspector is limited to only being able to evaluate conditions at time of inspection (in a non-invasive manner).



Recommendation

Contact a qualified flooring contractor

11.7.4 Floors

STAINED CARPET NOTED

Attention Required

The carpet was stained in one or more areas. Correction is recommended.

Recommendation

Contact a qualified professional.



11.8.1 Countertops & Cabinets

CABINET HARDWARE MISSING / DAMAGED / LOOSE

GARAGE CLOSET

Cabinet hardware was loose, damaged, or missing in one or more areas. Corrections are recommended.

Recommendation

Contact a handyman or DIY project

Attention Required



11.8.2 Countertops & Cabinets

FINISH DELAMINATING

SEVERAL AREAS

The finish at one or more areas was delaminating (glue failing). Recommend repair by a licensed contractor.

Recommendation

Contact a qualified professional.

Attention Required



11.9.1 Stairs

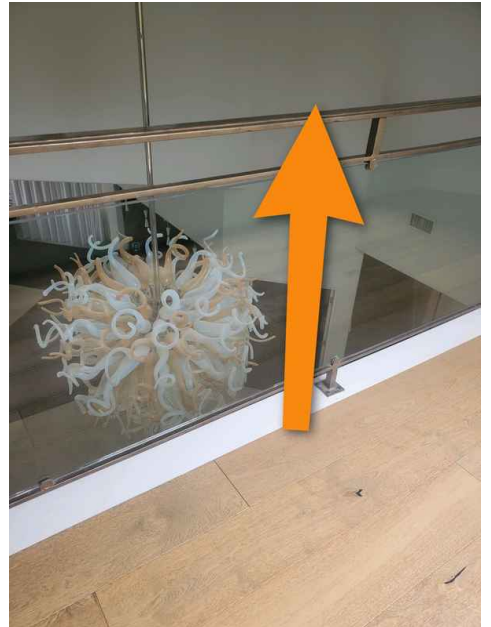
RAIL(S) NOT UP TO TODAY'S HEIGHT REQUIREMENT

Attention Required

Handrails and or guardrails do not appear to be tall enough to meet the current building standards in one or more areas (this has changed in the last few years). Alterations may be desired for added safety.

Recommendation

Contact a qualified professional.



12: APPLIANCES

		IN	NI	NP	F
12.1	General	X			
12.2	Range/Oven/Cooktop				X
12.3	Exhaust / Ventilation				X
12.4	Dishwasher	X			
12.5	Garbage / Food Disposal	X			
12.6	Microwave	X			
12.7	Refrigerator		X		
12.8	Washer/Dryer		X		
12.9	Coffee / Cappuccino		X		

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

General: Range / Oven / Cooktop
Energy Source / Supply
 Natural Gas

General: Exhaust / Ventilation
Type
 Downdraft

Dishwasher: Equipment Photo



Garbage / Food Disposal: Equipment Photo



Microwave: Equipment Photo



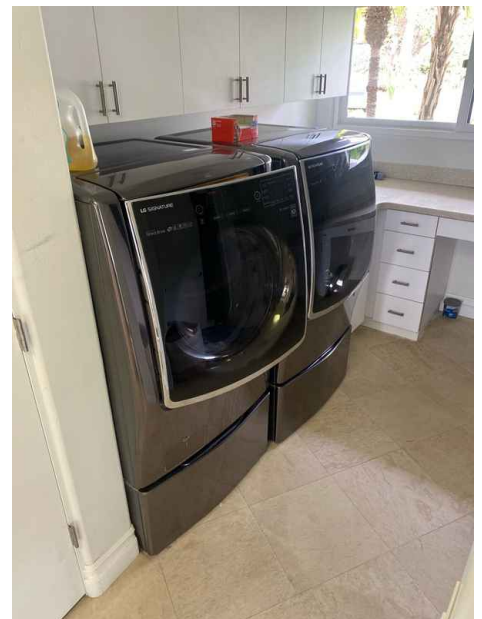
Refrigerator: Equipment Photo



Refrigerator: Fridge Conveys? Unknown

Refrigerator: Fridge Water Supply Connection Installed But Not Visible

Washer/Dryer: Equipment Photo

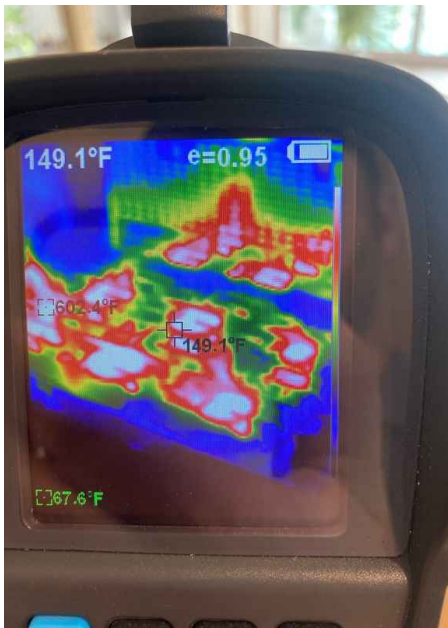


Range/Oven/Cooktop: Equipment Photo



Range/Oven/Cooktop: Thermal Image of Range Working

Infrared picture of range/cooktop in operation. This unit appeared operational.



Exhaust / Ventilation: Equipment Photo



Refrigerator: Refrigerator(s) Not Inspected

Refrigerators and wine fridges are beyond the scope of this inspection as per the Standards of Practice set forth by CREIA (California Real Estate Inspection Association). Fridges are not moved and typically the outlet and or water lines are not visible to the inspector. It is unknown what appliances convey. Inquire with the seller for more information and a home warranty is highly recommended.

Washer/Dryer: Washer(s)/Dryer(s) Not Inspected

Washer(s) and dryer(s) are beyond the scope of this inspection as per the Standards of Practice set forth by CREIA (California Real Estate Inspection Association). These items are not moved and typically the outlet and or water lines are not visible to the inspector. It is unknown what appliances convey. Inquire with the seller for more information and a home warranty is highly recommended.

Coffee / Cappuccino: Beyond the Scope - Not Inspected

Component is beyond the scope of this inspection as per the CREIA Standards of Practice.



Limitations

General

APPLIANCE LIMITATIONS

The following items are not included in this inspection: appliances such as outdoor barbecues, refrigerators, freezers, ice makers, warming ovens, griddles, broilers, appliance timers, clocks, coffee makers, trash compactors, hot water dispensers, water filters, cook functions, self-cleaning operations, thermostat or temperature control accuracy, lights, central vacuum systems, elevators and stair lifts. Any comments made regarding these items are as a courtesy only. We do not provide an estimate of the remaining life of appliances and does not determine the adequacy of operation of appliances. We do not note models or serial numbers, appliance manufacturers and does not determine if appliances are subject to recalls. Items, areas and components behind and obscured by appliances are inaccessible and not included in the inspection.

Dishwasher

DISHWASHER CYCLE LIMITATIONS

Determining the adequacy of the washing and drying functions of the dishwasher is not a part of this inspection.

Findings

12.2.1 Range/Oven/Cooktop

THERMAL IMAGE OF RANGE WORKING

Infrared picture of range/cooktop in operation. This unit appeared operational.



12.2.2 Range/Oven/Cooktop

THERMAL IMAGE OF OVEN WORKING

Thermal image of the oven working. This unit appeared functional.





12.2.3 Range/Oven/Cooktop

GAS FLAME UNSUALLY HIGH

The gas flame was unusually high at one or more burners. Adjustment is highly recommended for improved safety.

Recommendation

Contact a qualified professional.



12.3.1 Exhaust / Ventilation

DOWNDRAFT NOT TO EXTERIOR

The cooktop vent has not been routed to the exterior and instead blows air inside the cabinets. It is highly recommended to vent the exhaust to the exterior when using gas appliances for health and safety reasons. A qualified contractor is recommended to repair as necessary.

Recommendation

Contact a qualified professional.





13: FIREPLACES & GAS APPLIANCES

		IN	NI	NP	F
13.1	Fireplaces, Stoves & Inserts				X
13.2	Chimney(s)				X

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

Fireplaces, Stoves & Inserts: Type

Prefabricated, Gas Log Insert,
Metal Pre-Fabricated, Electric
Insert, Masonry

Fireplaces, Stoves & Inserts: Gas

Log Lighter
Yes

Fireplaces, Stoves & Inserts: View of Gas Fireplace and/or Pellet Stove During Operation



Chimney(s): Type

Metal

Fireplaces, Stoves & Inserts: Equipment Photos



Chimney(s): Equipment Photos



Limitations

Fireplaces, Stoves & Inserts

FIREPLACE / STOVE / CHIMNEY / FLUE LIMITATIONS

The local utility company (SDG&E) is recommended for a complimentary safety inspection of all gas-fired appliances prior to the close of the contingency period. The following items are not included in this inspection: coal stoves, gas logs, chimney flues (except where visible). Any comments made regarding these items are as a courtesy only. Note that the inspector does not determine the adequacy of drafting or sizing in fireplace and stove flues, and also does not determine if prefabricated or zero-clearance fireplaces are installed in accordance with the manufacturer's specifications. The inspector does not perform any evaluations that require a pilot light to be lit, and does not light fires. The inspector provides a basic visual examination of a chimney and any associated wood burning device. The National Fire Protection Association has stated that an in-depth Level 2 chimney inspection should be part of every sale or transfer of property with a wood-burning device. Such an inspection may reveal defects that are not apparent to the home inspector, who is a generalist. The liner was not fully inspected by our company. It is recommended to have a qualified chimney sweep clean and inspect for safety. We do not inspect the shape of fireplace or the design to determine if your fireplace has a proper air draw.

Findings

13.1.1 Fireplaces, Stoves & Inserts

DAMPER CLAMP MISSING

FAMILY ROOM

The fireplace is not equipped with a damper clamp as required by today's safety standards. They are required whenever gas is supplied to a fireplace to prevent the damper from closing completely. We recommend installing a damper clamp as a safety upgrade.

Recommendation

Contact a qualified professional.



Safety Item/Defective

13.1.2 Fireplaces, Stoves & Inserts

HEARTH MISSING/SIZE

MASTER BEDROOM

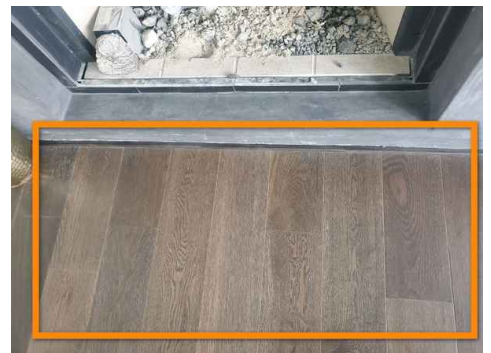
Hearth at front of fireplace noted missing/of inadequate size/or an improper material. This condition does not comply with current building and fire and safety requirements. We advise contacting a licensed contractor for necessary corrections.

Recommendation

Contact a qualified professional.



Attention Required



13.1.3 Fireplaces, Stoves & Inserts

GAS VALVE IN FIREBOX

FAMILY ROOM

Gas valve(s) or controls are not supposed to be in the firebox. This may have been acceptable when the house was constructed but upgrades are recommended for improved safety.

Recommendation

Contact a qualified professional.



Attention Required



13.1.4 Fireplaces, Stoves & Inserts

GLASS DOORS AND OR SCREENS MISSING

The spark screen and/or glass doors for the fireplace were missing or not installed. Correction is recommended.

Recommendation

Contact a qualified professional.

⊖ Attention Required



13.1.5 Fireplaces, Stoves & Inserts

EFFLORESCENCE

EXTERIOR

Efflorescence was observed inside the fireplace. Efflorescence is the dissolved salts deposited on the surface of a material (such as concrete or brick) that are visible after the evaporation of the water in which it was transported. The moisture that creates efflorescence often comes from groundwater, but rain water can also be the source. Efflorescence alone does not pose a major problem, but it can be an indication of moisture intrusion.

Recommendation

Contact a qualified professional.

⊖ Attention Required



13.1.6 Fireplaces, Stoves & Inserts

COMMON CRACKING

FAMILY ROOM

Common/moderate cracks were noted at the fireplace surround. Recommend monitoring this condition and corrections may be desired.

Recommendation

Contact a qualified professional.



Attention Required



13.2.1 Chimney(s)

LINER NOT INSPECTED

The liner was not fully inspected by our company. It is recommended to have a qualified chimney sweep clean and inspect for safety.

Recommendation

Contact a qualified professional.



Observation

14: GARAGE / CARPORT

		IN	NI	NP	F
14.1	General	X			
14.2	Structure	X			
14.3	Occupant Door(s)	X			
14.4	Vehicle Door(s)				X
14.5	Automatic Opener(s)	X			
14.6	Floor, Walls, Ceiling				X
14.7	Exterior Door(s)				X
14.8	Garage Ventilation				X

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

General: Structure Type

Attached Garage

General: Occupant Door

Solid, Wood, Unknown Fire Rating

General: Vehicle Door

Sectional, Wood

General: Automatic Opener Safety Devices

Pressure sensitive, Electronic eye, Reversed when tested

General: Wall Type

Finished

General: Ceiling Type

Finished

General: Garage Ventilation

Present

Automatic Opener(s): Backup Battery Recommended

An opener with a battery back up is highly recommended for improved fire safety in the case of a power outage.

Limitations

General

GARAGE LIMITATIONS

Determining adequacy of firewall ratings is beyond the scope of the inspection. Ventilation requirements vary by municipality.

General

OCCUPIED / PERSONAL BELONGINGS

Personal belongings were noted in one or more areas in the garage. The garage was not fully or properly visible and further evaluation may be desired.

Vehicle Door(s)

NOTICE

Determining if the spring tension and or balancing is adequate is beyond the scope of this inspection. Only the basic operation was tested. The vehicle door is by far the largest and heaviest moving item in a house and should be used carefully. Regular maintenance is very important.

Automatic Opener(s)

GARAGE VEHICLE DOOR OPENER NOTICE

Determining if the spring tension and or balancing is adequate is beyond the scope of this inspection. Only the basic operation was tested. The vehicle door is by far the largest and heaviest moving item in a house and should be used carefully. Regular maintenance is very important.

Floor, Walls, Ceiling

NOT FULLY ACCESSIBLE

One or more areas were not fully accessible. Further evaluation may be desired.

Findings

14.4.1 Vehicle Door(s)

Attention Required

VEHICLE DOOR PARTS MISSING / DAMAGED / SUBSTANDARD

Vehicle door hardware was missing, damaged, loose, deteriorated or substandard in one or more areas. Recommend repair or replacement by a qualified contractor.

Recommendation

Contact a qualified garage door contractor.



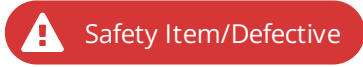
14.6.1 Floor, Walls, Ceiling



FLOORS / WALLS OBSCURED

Floor and / or wall areas were obscured by stored items and couldn't be fully evaluated.

14.6.2 Floor, Walls, Ceiling



UNIDENTIFIABLE BIOLOGICAL GROWTH

Unidentifiable biological growth was present and is a potential health concern (probably a mold or mildew). We recommend repair by a qualified specialist. Our company can provide mold testing if desired.



Recommendation

Contact a qualified professional.

14.6.3 Floor, Walls, Ceiling



ACTIVE WATER INTRUSION NOTED

Elevated moisture levels (beyond what is typical) were found in one or more areas. This appears to be due to an active plumbing leak and/or moisture intrusion issue. Hidden damage and or mold/mildew like substances are possible (areas not accessible to the inspector). A qualified professional is needed for further evaluation and/or repairs.

Recommendation

Contact a qualified professional.



14.6.4 Floor, Walls, Ceiling



COMMON TO MODERATE CRACKING

The concrete garage slab has common to moderate cracks at one or more area. These are typical for all concrete items. Recommend monitoring these cracks and contacting a qualified licensed contractor if changes occur.

Recommendation

Contact a qualified professional.



14.7.1 Exterior Door(s)

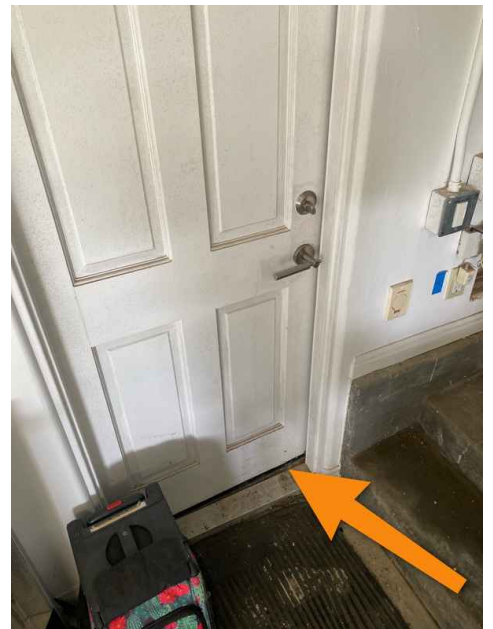
RUBS IN JAMB

The door rubs in the jamb and/or floor in one or more areas. Correction is recommended.

Recommendation

Contact a qualified professional.

Attention Required



14.8.1 Garage Ventilation

TORN / MISSING SCREEN NOTED

Torn screen noted at the garage ventilation at one or more areas. Advise correcting and repair by qualified professional to help prevent rodent/animal intrusion.

Recommendation

Contact a qualified professional.

Attention Required



15: SWIMMING POOLS, SPAS, AND EQUIPMENT

		IN	NI	NP	F
15.1	General Information	X			
15.2	Pool Safety: Fencing, Barriers, Alarms, Covers				X
15.3	Pool Condition	X			
15.4	Spa Condition				X
15.5	Pool/Spa Surface				X
15.6	Ladders, Steps, Rails and Diving board				X
15.7	Pumps And Plumbing				X
15.8	Valves				X
15.9	Skimmer				X
15.10	Pool/Spa Furnace				X
15.11	Electrical Components				X
15.12	GFCI Protection				X
15.13	Coping - Deck	X			
15.14	Pool/Spa Drain Covers				X
15.15	Filter				X
15.16	Pool And/Or Spa Light	X			
15.17	Water Feature(s)	X			
15.18	Pool Fill	X			
15.19	Pool Sweep		X		X
15.20	Chlorinator/Chlorine Generator				X

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

General Information: STYLE
IN GROUND HEATED

General Information: SHAPE
ROUND, FREEFORM

General Information: WALL MATERIALS
AGED/WORN PLASTER*

General Information: PUMP TYPE
VARIABLE SPEED PUMP,
STANDARD SPEED PUMP*

General Information: NUMBER OF PUMP(S)
5

General Information: FILTER TYPE
CARTRIDGE, DIATOMACEOUS EARTH, AGED*

General Information: FURNACE TYPE
NATURAL GAS, AGED*

General Information: POOL SANITIZER TYPE
CHLORINE

General Information: GENERAL BARRIER (FENCING AROUND YARD)
GATES NON-COMPLIANT*

General Information: POOL/SPA SAFETY FEATURES
Fewer than 2 safety features present

Pool Safety: Fencing, Barriers, Alarms, Covers: Drowning Prevention Safety Features Present
Permanent Fencing

Pool And/Or Spa Light: Type
The pool and spa

Limitations

General Information

POOL / SPA LIMITATIONS

Please read a copy of the Standards of Practice provided for a complete list of what items are and are not part of the inspection. Inspectors do not remove pool covers, open filters, disassemble components or equipment, determine if the pool/spa, skimmers, underground piping leaks or determine pool/spa level. Items beyond the scope of the inspection: ozone/ultraviolet systems, underground or piping not visible, pool/spa bodies, filter back flushing, timers or equipment on timers, waterfalls/fountains or associated equipment, motorized covers, remote control, apps or sensors. Any comments provided on these items are as done so a courtesy only. Title 20 compliance is very nuanced and therefore beyond the scope of this inspection.

Pool Safety: Fencing, Barriers, Alarms, Covers

SB-442: WHAT DOES IT ALL MEAN?

SB-442 What Does It All Mean

David Pace, MCI, Chair, Legislative Committee

On October 11, 2017 Governor Brown signed into law SB 442. The bill is known as the Pool Safety Act. The bill is very similar to one, which the governor vetoed during the previous legislative session. His stated reason for the veto was that pool safety is the primary the responsibility of parents.

The Reason For The Bill

The reason stated is contained within the bill.

"According to both federal Centers for Disease Control and Prevention's National Center for Injury Prevention and Control and the State Department of Public Health's EpiCenter data, drowning is the second leading cause of death for California children one to four years of age inclusive. EpiCenter data shows that between the years 2010 and 2014 more than 160 children one to four years of age, inclusive, suffered fatal drownings, with the majority of the incidents involving residential pools, and between the years 2010 and 2015 more than 740 children one to four years of age, inclusive, were hospitalized after suffering a near drowning incident with the leading cause of hospitalization being brain injury due to the lack of oxygen, also known as asphyxiation."

The bill goes on to say:

"Additional children suffer near drowning incidents and survive, but many of those children suffer irreversible brain injuries, which can lead to lifelong learning deficiencies that impact not only the affected child and his or her family, but also the resources and moneys available to California's health care system, regional centers, and special education school programs. The State Department of Developmental Services reported that as of December 2016 the agency was providing care for more than 755 near-drowning victims with severe brain damage resulting from the near drowning."

The legislature also finds and declares:

"Close parental supervision of children with access to swimming pools is essential to providing pool safety for children. Barriers, such as those required pursuant to section 115922 of the Health and Safety Code, can help deter young children from gaining unsupervised access to pools."

CREIA'S Position on the Bill

During this last legislative session Jerry Desmond, our legislative advocate, and I met on several occasions with the office of Senator Newman, the author of the legislation, as well as the primary representatives of the 40 bill sponsors to learn of their concerns and to set forth our perspective on how best to meet those concerns. Over the course of several months CREIA produced a SB-442 White Paper setting forth our perspective and offered proposed amendments to the bill. In our meetings I argued:

1. The bill will only effect a fraction of residential pools in California.
2. Home inspectors are not certified or capable of validating that safety provisions are compliant with ASTM standards.
3. Home inspectors cannot verify that pool barriers are properly installed or that pool alarms function properly.
4. Home inspectors identify items, as they exist at the time of the inspection.
5. Professional Pool inspectors are best equipped and trained to identify pool safety devices.
6. This bill significantly increases legal exposure for home inspectors who are not trained or qualified to make responsible evaluations.
7. A prudent home inspector will defer specific evaluation of safety devices to a qualified professional.
8. Each home inspector will need to secure their own copy of the various ASTM Standards to find out what standards they are expected to adhere to.
9. Inspection fees will increase by as much as 30%.
10. Insurance cost for home inspectors will increase.
11. The provisions of this bill are best addressed by professional pool inspectors who have the background, experience and training to perform pool inspections.

12.Home owners should provide all appropriate disclosures and documentations related to the pool and pool safety provisions.

13.THERE IS NO REQUIREMENT TO MAKE ANY SAFETY REPAIRS

During our conversations with Senator Newman's office and the sponsors of the bill, I made it clear that the reason CREIA exists is to "To protect lives, health and investments." That is our Vision Statement. Safety was never the question. The question was, who is best qualified to review the safety provisions specified by the bill. Review of those safety provisions are now the responsibility of the homes inspector.

Preliminary Thoughts and Considerations

1.Regarding the Nature of our Inspection

Our inspection of pool safety features is not unlike our inspection of other aspects of the home itself.7195 (a)(1) states that a "Home inspection is a noninvasive, physical examination... of the mechanical, electrical, or plumbing systems or the structural and essential components of a residential dwelling of 1 to 4 units designed to identify material defects in those systems, structures, and components."

Section 7195(a)(2) states, "In connection with the transfer, as defined in subdivision (e), of real property with a swimming pool or spa, an appropriate inspection shall include a noninvasive physical examination of the pool or spa and dwelling for the purposes of identifying" the safety features present.

Our inspection of the safety features is to be "appropriate." Merriam-Webster defines "appropriate" as "especially suitable or compatible: fitting." The task of our inspection is further defined to be a "noninvasive physical examination." As we shall see later many of the safety features cannot be verified by a noninvasive physical examination.(I would not think it appropriate to get two adults and one child to walk out onto a pool cover to make sure it meets the 485 lb. (220.0 kg) static load test required by ASTM 1346.)

2.Regarding the Nature of our Inspection Report.

7195 (c) states "A 'home inspection report' is a written report...(that) clearly describes and identifies the inspected systems, structures, or components of the dwelling, any material defects identified, and any recommendations regarding the conditions observed or recommendations for evaluation by appropriate persons." It goes on to state, "in a dwelling with a pool or spa, the report shall identify which of any of the seven drowning prevention safety features listed in sub division (a) of section 115922 of the Health and Safety Code the pool or spa is equipped with and shall specifically state if the pool or spa has fewer than two of the listed drowning prevention safety features."

Our "appropriate," "noninvasive physical examination" observations of the pool safety features are to be a part of the "home inspection report" in which we describe and identify conditions and provide recommendations for evaluation by appropriate persons. Our standard of care is not that of a trained and qualified ASTM professional. Our standard of care is that of a reasonable prudent home inspector (7196).To be sure we need to be careful and diligent in our inspection, our standard of care requires it. When we see a foundation deficiency, we do not play engineer. We recommend further evaluation by a qualified and registered engineer and appropriate repairs be made. When we see a fried breaker in a sub-panel, we do not play electrician. We recommend further evaluation and repair by a qualified and licensed electrician. Inspection of pool safety features is no different.

What Does The Bill Require

The bill requires:

1.When a single family residence with a pool (see definitions below) is transferred and a home inspection is performed on the home, the home inspection report shall identify which, if any, of seven specific drowning prevention safety features are present. Those safety features are defined in section 115922 of the Health & Safety Code.

2.The home inspection report shall specifically state if the pool or spa has fewer than two of the listed drowning prevention safety features.

Applicable Definitions(Health and Safety Code 115921)

Section 11591 defines terms related to the requirements of the Bill.

"**Swimming pool**" or "**pool**" means any structure intended for swimming or recreational bathing that contains water over 18 inches deep. "Swimming pool" includes in-ground and above-ground structures and includes, but is not limited to, hot tubs, spas, portable spas, and non-portable wading pools.

"**Public swimming pool**" means a swimming pool operated for the use of the general public with or without charge, or for the use of the members and guests of a private club. Public swimming pool does not include a swimming pool located on the grounds of a private single-family home.

"**Enclosure**" means a fence, wall, or other barrier that isolates a swimming pool from access to the home.

"**Approved safety pool cover**" means a manually or power-operated safety pool cover that meets all of the performance standards of the American Society for Testing and Materials (ASTM), in compliance with standard F1346-91.

"**Exit alarms**" means devices that make audible, continuous alarm sounds when any door or window, that permits access from the residence to the pool area that is without any intervening enclosure, is opened or is left ajar. Exit alarms may be battery operated or may be connected to the electrical wiring of the building.

The Seven Drowning Safety Provisions (Health and Safety Code 115922)

Section 115922 of the Health and Safety Code states that "Except as provided in Section 115925, when a building permit is issued for the construction of a new swimming pool or spa or the remodeling of an existing swimming pool or spa at a private single-family home, the respective swimming pool or spa shall be equipped with at least two of the... seven drowning prevention safety features."

The requirement for the safety features is triggered by the issuance of a permit for the construction or remodeling of a pool or spa. An inspection by the local building department is required prior to the issuance of a final approval.

With the passage of this bill, inspection of safety features is also triggered when a home inspection is completed on a single-family home with a swimming pool in conjunction with the transfer of a property. **NOTE** that there is no requirement for there to be a pool inspection AND there is no requirement for a pool inspection to verify the presence of the "2 of 7" safety features. It only applies when there is a transfer of the property with a swimming pool and a home inspection is performed on the single family home.

Safety Feature One - Health and Safety Code 115922 (a)(1)

"An enclosure that meets the requirements of section 115923 and isolates the swimming pool or spa from the private single-family home."

As noted earlier an "Enclosure" means a fence, wall, or other barrier that isolates a swimming pool from access to the home. There are six characteristics for an enclosure to comply with the bill. All six are required or the enclosure does not meet the requirement of the legislation. The first five requirements are from section 115923.

1.Any access gates through the enclosure must open away from the swimming pool, and must be self-closing with a self-latching device placed no lower than 60 inches above the ground.

- 2.The enclosure must be a minimum height of 60 inches.
- 3.The maximum vertical clearance from the ground to the bottom of the enclosure shall be no more than 2 inches.
- 4.Any gaps or voids in the enclosure shall not allow passage of a sphere equal to or greater than 4 inches.
- 5.The outside surface shall be free of protrusions, cavities, or other physical characteristics that would serve as handholds or footholds that could enable a child below the age of five years to climb over the enclosure.
- 6.The enclosure shall isolate the swimming pool or spa from the private single-family home. [Health and Safety Code 511922 (a)(1)]

If **ALL** six are present the enclosure meets the requirements as a safety feature.

Safety Feature Two - Health and Safety Code 115922 (a)(1)

"Removable mesh fencing that meets American Society for Testing and Materials (ASTM) Specifications F2286 standards in conjunction with a gate that is self-closing and self-latching and can accommodate a key lockable device."

ASTM F2286 is a document, which includes many design and performance requirements.

Some of the design requirements can be measured.

- The top of a fence or wall used as a barrier needs to be a minimum of 48 inches above the exterior side of the grade.
- If there is a hinge to gate used in addition to, or as part of the mesh safety barrier, the gate shall be self-closing and self-latching. The gate shall accommodate a locking device and open outward from the pool, spa or hot tub. The locking device shall be located a minimum of 54 inches above the grade and be mounted on the outside of the gate.
- There must be a clear zone of 20 inches between the barrier and the pool/spa/hot tub.
- There must be a latching device no lower than 45 inches above grade for each barrier section. The latching device needs to provide security equal to or greater than that of a hook-and-eye-type latch incorporating a spring actuated retaining lever.
- The bottom of the mesh barrier can be no more than 1 inch above the deck or surface grade.

Some of the design requirements may not be conclusively verified.

- The distance between vertical support poles and the attached mesh shall be designed and fabricated to hinder the child's ability to climb the mesh safety barrier.
- Any decorative details cannot allow a child to use those details to climb mesh safety barrier.
- The mesh safety barrier shall be removable.
- The mesh safety barrier shall continuous and constant protection. When used outdoors or in an unenclosed pool/spa/hot tub, the mesh safety barrier may provide 360 protection or may be attached to another property or perimeter fence to prevent unsupervised access to the pool.

Many of the requirements of ASTM F2286 CANNOT be verified by a non-invasive physical examination of the safety feature.

- There 40% open space requirement in the mesh to allow visibility from the outside to the inside of the mesh fence.
- The posts shall be embedded 3 inches below grade and be spaced no more than 40 inches apart.
- There is a tensile strength test requirement for the mesh material.
- There is a discoloration test for the mesh material.

- There is a specific screw size requirement for attachment of a molding strip to the vertical posts.
- The deck sleeves shall be of a non-conductive material.
- There are specific Vertical Load Test and Impact Tests.
- There are labeling and warning sign requirements for the mesh safety barrier.

This raises the question, "Can any mesh fence be considered fully compliant by means of a non-invasive physical examination?"

Safety Feature Three - Health and Safety Code 115922 (a)(1)

"An approved safety pool cover, as defined in subsection (d) of section 115921."

ASTM F1346-91 is a seven page, two-column document that contains many design and performance requirements.

The requirements include but are not limited to:

- Knowledge of the materials and manufacturing process.
- Knowledge of the installation and the delivery of detailed instructions for installation.
- Extensive labeling requirements for the cover.(These include product labeling, warning labeling, proper signal words, safety alert symbols, word messaging, label color, font size, letter style, life expectancy of the cover, cover protection advice, attachment of the labels, replacement of labeling, instruction/use labeling, packaging labeling and compliance labeling.)
- Proper markings for the safety cover are to include manufacturer's name, date manufactured or installed and instructions to the consumer to inspect the cover for premature wear or deterioration.
- No visible damage to seams, ties or welds that will impair intended performance of the device when subjected to safety cover tests.
- No gaps or openings between the cover and the deck surface or coping wall or both which could allow passage a test object to gain access to the water or be subject to entrapment.
- There are *specific test requirements and test methods* for testing Static Load, Perimeter Deflection, Surface Drainage and Opening Tests.

Most of the requirements of ASTM F1346 **CANNOT** be confirmed by means of a non-invasive physical examination.

Safety Feature Four - Health and Safety Code 115922 (a)(1)

"Exit alarms on the private single-family homes doors that provide direct access to the swimming pool or spa. The exit alarms may cause either and alarm noise or a verbal warning, such as a repeated notification that 'the door to the pool is open.'"

As indicated earlier, an exit alarm means devices that make audible, continuous alarm sounds when any door or window, that permits access from the residence to the pool area that is without any intervening enclosure, is opened or is left ajar. Exit alarms may be battery operated or may be connected to the electrical wiring of the building. (Health and Safety Code 115921)

Exit alarms are required on ANY door or window that permits access from the residence to the pool area without an enclosure between the pool and the residence. The exit alarm is required to make an audible sound when the door or window is opened or is left ajar. If a door or window is opened the alarm must sound. The exit alarm may be battery operated or hard wired.

Safety Feature Five - Health and Safety Code 115922 (a)(1)

"A self-closing, self-latching device with a release mechanism placed no lower than 54 inches above the floor on the private single-family home's doors providing direct access to the swimming pool or spa."

Any door providing direct access to the swimming pool or spa must be self-closing and self-latching. Does this include sliding glass doors? Yes, ANY door in addition to the door being self-closing and self-latching there must be a release mechanism no lower than 54 inches above the floor. This can be in addition to the standard lock mechanism.

Safety Feature Six - Health and Safety Code 115922 (a)(1)

"An alarm, when placed in a swimming pool or spa, will sound upon detection of accidental or an authorized entrance into the water. The alarm shall meet and be independently certified to the ASTM standard F 2208 'Standard Safety Specification for Residential Pool Alarms,' which includes surface motion, pressure, sonar, laser, and infrared type alarms. A swimming protection alarm feature designed for individual use, including an alarm attached to a child that sounds when the child exceeds a certain distance or become submerged in water, is not a qualifying drowning prevention safety feature."

The key phrase is the exit alarm "shall meet and be independently certified to ASTM standard F 2208". All exit alarms complying with this standard SHALL be labeled or marked "Meets requirements of ASTM Safety Specification F 2208". "The name, model number, date of manufacturer, and contact information is required to be placed permanently on the product as appropriate.

There are four classifications of alarms, Surface, Subsurface, Pool Perimeter and Personal Immersion Alarms.

Most of the requirements of ASTM F2208-08 **CANNOT** be confirmed by means of a non-invasive physical examination.

These include but are not limited to:

- Alarm shall sound within 20 seconds both at the pool and within the residence via a remote receiver.
- The operational condition of the alarm shall be made known by means of an energized lamp at a distance of 10 feet +/- 1 foot and specified at a specified angle of view (45 degrees from perpendicular +/- % degrees).
- The alarm must have a minimum rating of 85 dba.
- If the alarm is battery operated there must be a low-battery indicator.
- The alarm must automatically reset.
- Wireless alarms must be FCC Part-15 compliant.
- If the alarm deactivates or has reduced sensitivity due to environmental factors, the alarm must provide a visual and audible warning.
- There are various tests and test procedures for each type of alarm. Child tests may include repeated drop tests, vertical drop tests and horizontal drop tests using a child intrusion simulator called "Rescue Timmy" who meets the requirements of the National Center(s) for Disease Control for a one year old child.
- Instructions are required to be shipped with each unit using ANSI Z53 5.6 as a guide. At a minimum the instructions shall address proper installation, any needed adjustments, size and shape limitations of the pool, troubleshooting instructions, contact information for the manufacturer, power or battery requirements, recommended distance from transmitter to receiver and a statement that states: "This device is not intended to replace any other safety consideration; that is, adult supervision, lifeguards, fences, gates, pool covers, locks, and so forth, and some devices may not detect gradual entry."

Safety Feature Seven - Health and Safety Code 115922 (a)(1)

"Other means of protection, if the degree of protection afforded is equal to or greater than that afforded by any of the feature set forth above and has been independently verified by an approved testing

laboratory as meeting standards for those features established by ASTM or the American Society of Mechanical Engineers (ASME)."

What do we report?

The bill requires that we identify which, if any, of the 7 specified safety drowning prevention safety features the pool or spa is so equipped. Further we are required to specifically state if the pool or spa has fewer than two of the listed drowning prevention safety features.

To identify is to "say what something is." Merriam-Webster lists many synonyms for identify. They include the words: distinguish, pinpoint, locate, examine, inspect, investigate, notice, scrutinize, disclose, discover etc. A prudent home inspector (the standard to which we are held) will identify the pool safety deficiencies (material defects) he or she is able to as specified in the bill. It is obvious many of the provisions of the bill cannot be identified within the confines of our non-invasive physical inspection. As with any other aspect of our home inspection, if we can't inspect it...disclose it.

Are there exceptions to the bill?

Section 115925 was amended to indicate there are three exceptions to the bill.

- 1.Public swimming pools.
- 2.Hot tubs or spas with locking safety covers that comply with the American Society for Testing and Materials (ASTM F1346).
- 3.An apartment complex, or any other residential setting other than a single-family home.

Pumps And Plumbing

TITLE 20 COMPLIANCE BEYOND SCOPE

Title 20 compliance is very nuanced and therefore beyond the scope of this inspection. Further evaluation may be desired by a pool specialist.

Findings

15.2.1 Pool Safety: Fencing, Barriers, Alarms, Covers

FEWER THAN 2 SAFETY FEATURES PRESENT



Safety Item/Defective

This pool/spa does not have 2 approved safety features present. Two of the following seven options should be installed to comply with the [Pool Safety Act](#):

- An enclosure that isolates the swimming pool or spa from the private single-family home.
- Removable mesh fencing that meets American Society for Testing and Materials (ASTM) Specifications F2286 standards in conjunction with a gate that is self-closing and self-latching and can accommodate a key lockable device.
- An approved safety pool cover.
- Exit alarms on the private single-family homes doors that provide direct access to the swimming pool or spa. The exit alarm may cause either an alarm noise or a verbal warning, such as a repeating notification that "the door to the pool is open."
- A self-closing, self-latching device with a release mechanism placed no lower than 54 inches above the floor on the private single-family home's doors providing direct access to the swimming pool or spa.
- An alarm that, when placed in a swimming pool or spa, will sound upon detection of accidental or unauthorized entrance into the water. The alarm shall meet and be independently certified to the ASTM Standard F2208 "Standard Safety Specification for Residential Pool Alarms," which includes surface motion, pressure, sonar, laser, and infrared type alarms. A swimming protection alarm feature designed for individual use, including an alarm attached to a child that sounds when the child exceeds a certain distance or becomes submerged in water, is not a qualifying drowning prevention safety feature.
- Other means of protection, if the degree of protection afforded is equal to or greater than that afforded by any of the features set forth above and has been independently verified by an approved testing laboratory as meeting standards for those features established by the ASTM or the American Society of Mechanical Engineers (ASME).

Recommendation

Contact a qualified swimming pool contractor

15.3.1 Pool Condition

POOL IS LEVEL

Pool water level appeared to be within normal range indicating that the body of the pool is level, and has not settled. Industry standard for pool level is +/- 1/4", or no more than 1/2" from high to low point. Note: The only way to make predictions about future soil movement to any structure, like a pool, would require services of a geotechnical engineer or structural engineer.



Observation



15.4.1 Spa Condition

SPA JETS - FUNCTIONED

The spa jets functioned when tested.



Observation



15.4.2 Spa Condition

SPA JETS - POOR

Spa jets did not appear to be functioning as intended. One or more of the jets had low or no flow during testing. This can be caused by an obstruction or problems with concealed plumbing. We advise further review with qualified pool technician.

Recommendation

Contact a qualified swimming pool contractor

Attention Required



15.4.3 Spa Condition

SPA - NOT HEATING PROPERLY

During the testing of the spa, the spa did not appear to heat properly during the time of inspection. The spa heat change/temperature differential was 10 degrees per hour. This unit does not appear to be functioning properly. Recommend correcting and advise further review and repair by a qualified pool specialist.

Safety Item/Defective



10 Degrees per hour

15.5.1 Pool/Spa Surface

SURFACE OK

SPA

The pool/spa surface appeared to be in serviceable condition.

Observation



15.5.2 Pool/Spa Surface

PLASTER STAINED

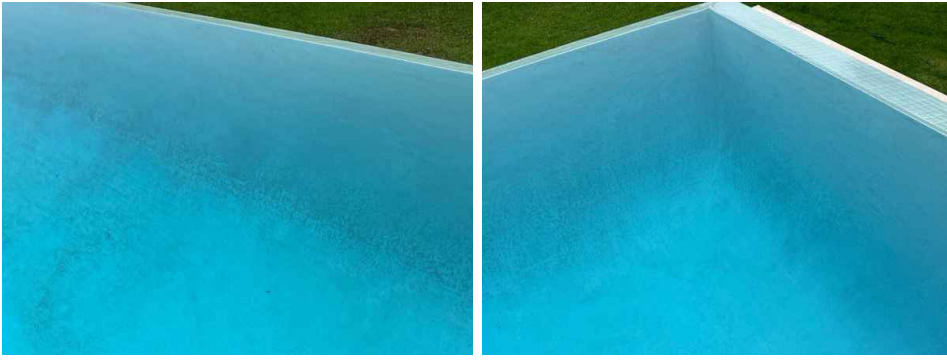
POOL

The plaster is stained in several areas. This can be caused by poor chemical maintenance, foreign items that have stained the plaster. We recommend further evaluation by a licensed pool contractor.

Recommendation

Contact a qualified swimming pool contractor

Attention Required



15.5.3 Pool/Spa Surface

TILES - DAMAGED

SPA

Tiles are missing or damaged at the pool or spa walls. We recommend having the tiles repaired/replaced by a qualified pool contractor.

Recommendation

Contact a qualified swimming pool contractor

 Attention Required

15.5.4 Pool/Spa Surface

TILES- LOOSE OR MISSING GROUT

POOL

The tile had areas of missing/loose grout. We recommend maintenance be performed by a qualified swimming pool contractor.

Recommendation

Contact a qualified swimming pool contractor

 Attention Required

15.6.1 Ladders, Steps, Rails and Diving board



Attention Required

NO HANDRAIL

No handrail was present at the step(s). We recommend installation for safety.

Recommendation

Contact a qualified swimming pool contractor



15.7.1 Pumps And Plumbing



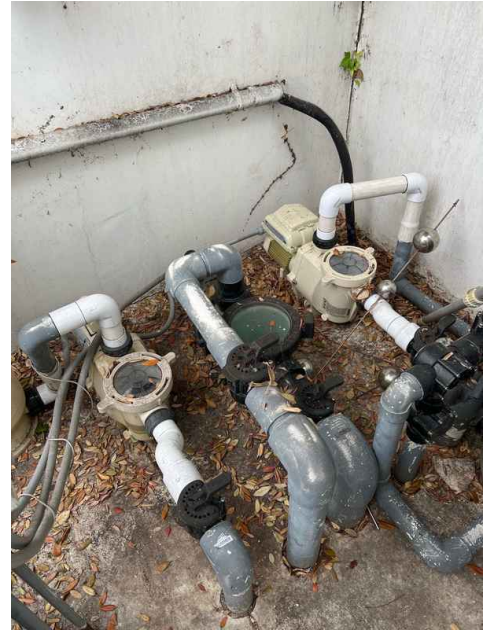
Observation

NO PAINT @ PVC PIPES

Note: White plastic PVC pipes were exposed to direct sunlight at pool equipment. This type material is deteriorated by the ultra-violet (UV) radiation in sunlight, and this condition will result in premature failure of pipes compared to similar pipes protected from UV.

Recommendation

Contact a qualified professional.



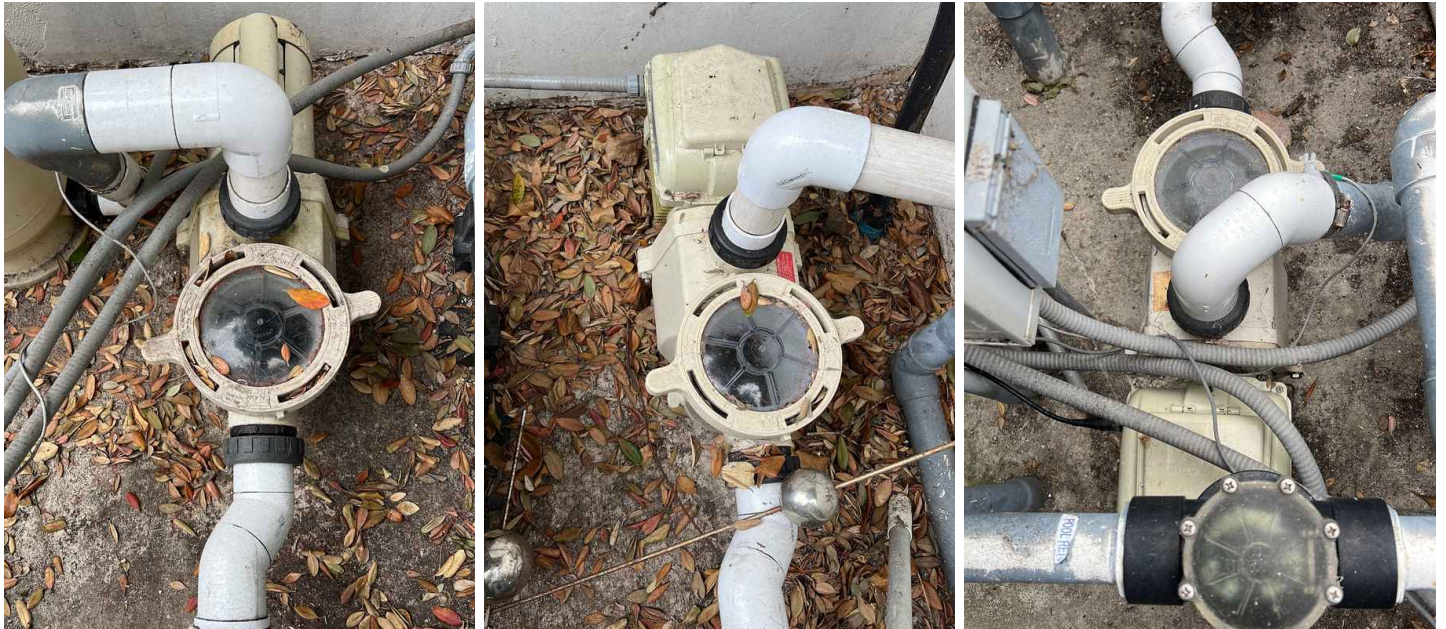
15.7.2 Pumps And Plumbing



Observation

PUMP(S) - OK

The pool/spa pump(s) were tested and were operational at time of inspection. Pump/equipment was tested for extended period of time to check for leaks, no leaks observed after about 10 minutes of operation. The pumps are not evaluated for capacity, efficiency, flow rate or pressure. We do not pressure test this system for leaks. You can have the entire system pressure checked for leaks if concerned.



15.7.3 Pumps And Plumbing

PUMP(S) - AGED

Attention Required

Note: The pool pump(s) is/are older. According to InterNACHI pool pumps have an average life span of 10 years. Pump(s) appears to be 10+ years old. We recommend having a good home warranty in place which covers the pool equipment or replacement may be desired.

Recommendation

Contact a qualified professional.



15.8.1 Valves

POOL VALVES - NOT MOVED

Attention Required

The valves were not moved due to lack of labeling. If moving valves could adversely affect pool operation, home inspectors are not required to turn them. We recommend having seller demonstrate that valves are in good working order, and identify each valve.

Recommendation

Contact a qualified professional.



15.9.1 Skimmer

SKIMMER - WEIR DOOR MISSING

⊖ Attention Required

The weir door in the skimmer is missing and should be replaced to prevent objects from entering into the skimmer. We recommend replacing by a licensed pool contractor.

Recommendation

Contact a qualified swimming pool contractor



15.9.2 Skimmer

FLOAT VALVE - O-RING Attention Required

Float valve inside skimmer was missing O-Ring. Float valve will not work correctly in the event the skimmer becomes blocked with leaves or the skimmer runs dry. The float valve is an emergency backup which will divert the flow of water from the skimmer to the main drain. We advise repair with qualified pool repair person.

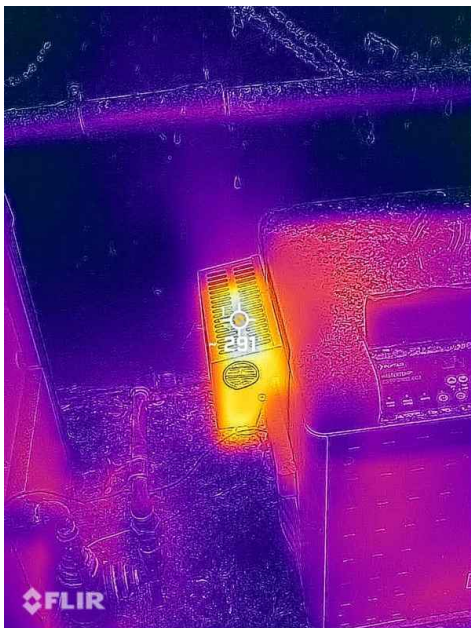
Recommendation

Contact a qualified professional.

15.10.1 Pool/Spa Furnace

SPA HEATER Observation

The spa heater was tested and was operational at time of the inspection.



15.10.2 Pool/Spa Furnace

Attention Required

NO DRIP LEG/SEDIMENT TRAP

The gas supply pipe to furnace contained no drip leg/sediment trap. A drip leg is generally recommended but not typically required in San Diego. The purpose of a drip leg is to prevent particulates or moisture from condensation from entering and clogging the water heater gas valve, which can cause the heater to malfunction. You may wish to consult with a plumber concerning the advisability of installing a drip leg/sediment trap in the gas line.

Recommendation

Contact a qualified professional.



15.10.3 Pool/Spa Furnace

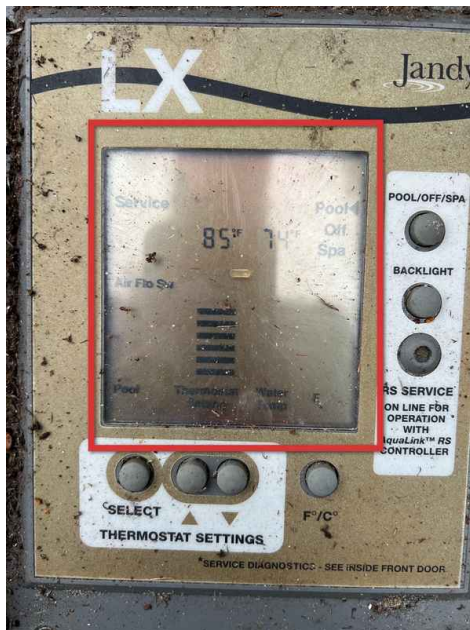
Safety Item/Defective

POOL FURNACE - SERVICE LIGHT

Furnace service light was on during testing. This indicates a fault in the furnace. We recommend further evaluation by a qualified pool service technician.

Recommendation

Contact a qualified swimming pool contractor



15.10.4 Pool/Spa Furnace

Attention Required

FURNACE - AGED

Note: The pool heater is older and its life remaining is unknown. According to InterNACHI the average life span of a pool heater is 8-10 years. This heater appears to be 10+ years old. We recommend that keep a good home warranty in place which covers the pool equipment.

Recommendation

Contact a qualified swimming pool contractor



15.11.1 Electrical Components



BONDING OK

Pool equipment appeared to be properly electrically bonded.



15.12.1 GFCI Protection

PUMP NOT GFCI PROTECTED



GFCI protection was not visible for one or more pumps. Pumps are now required to have GFCI protection. It is recommended GFCI protection be installed for overall safety. A qualified electrician should evaluate and repair as necessary.

Recommendation

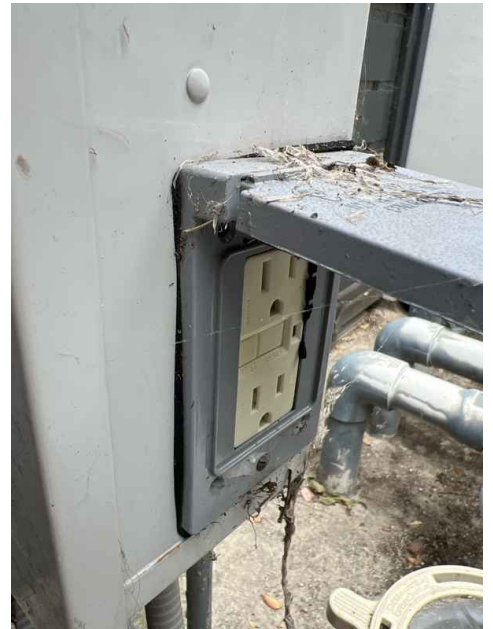
Contact a qualified electrical contractor.



15.12.2 GFCI Protection

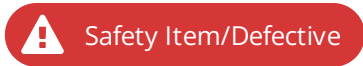
GFCI OPERATIONAL

The GFCI was operable at the time of the inspection.



15.14.1 Pool/Spa Drain Covers

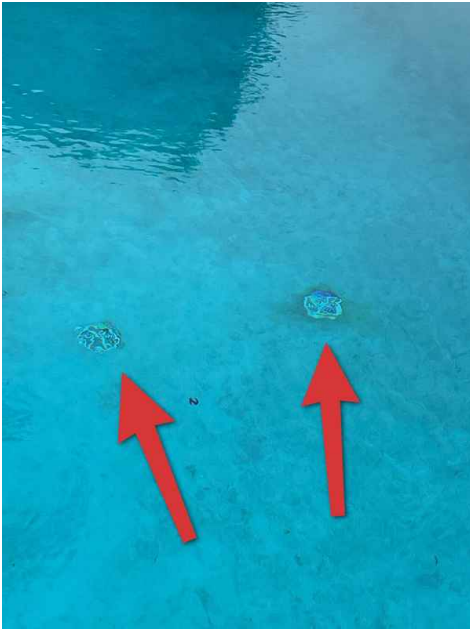
OLD DRAIN COVER



Older style drain cover(s) present which are considered unsafe due to the suction entrapment. We advise upgrading any drain covers to safety covers by a pool service technician. The consumer product safety commission has studied drain entrapment and developed guidelines. You can download and read this guideline at: <http://www.cpsc.gov/CPSCPUB/PUBS/363.pdf>

Recommendation

Contact a qualified swimming pool contractor

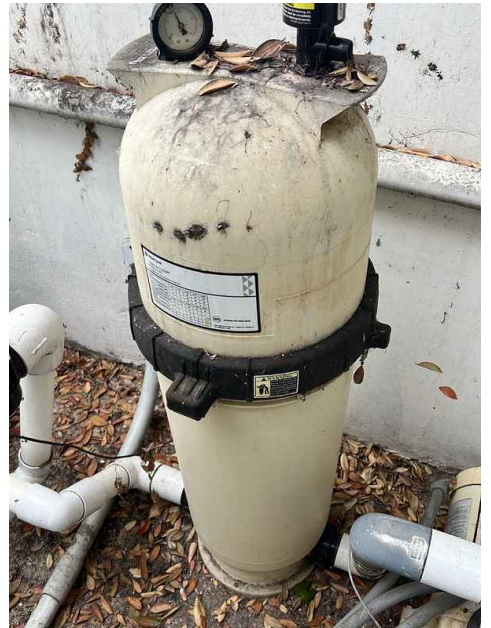


15.15.1 Filter

FILTER - OK

Observation

The pool filter was operational and in serviceable condition at time of the inspection.



15.15.2 Filter

POOL FILTER - AGED*

Attention Required

Note: The pool filter is older. Life remaining may be limited. According to InterNACHI the average life span of a pool filter is 10 years. This filter appears to be 10+ years old. We recommend that keep a good home warranty in place which covers the pool equipment.

Recommendation

Contact a qualified professional.

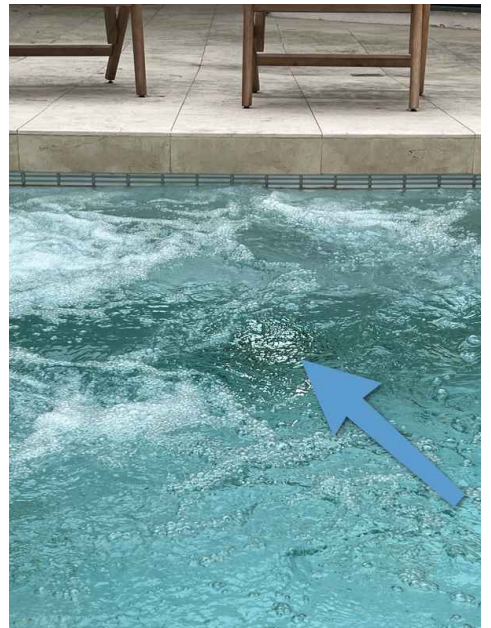


15.16.1 Pool And/Or Spa Light

LIGHT - FUNCTIONAL



Pool and/or spa light(s) functioned properly when tested.



15.17.1 Water Feature(s)


POOL - WATER FEATURE OK



The water feature was tested and was operational at time of inspection.



15.18.1 Pool Fill

 Observation

POOL FILL - OK

The pool fill mechanism was tested and was operational at time of inspection.



15.19.1 Pool Sweep

 Observation

SWEEP - NONE

No pool sweep was present at time of inspection.



15.20.1 Chlorinator/Chlorine Generator

 Attention Required

NO CHLORINATOR

No chlorinator was installed. Modifications may be desired.

Recommendation

Contact a qualified professional.



16: COMPLIMENTARY PICTURES

		IN	NI	NP	F
16.1	General	X			
16.2	Interior	X			
16.3	Exterior	X			

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

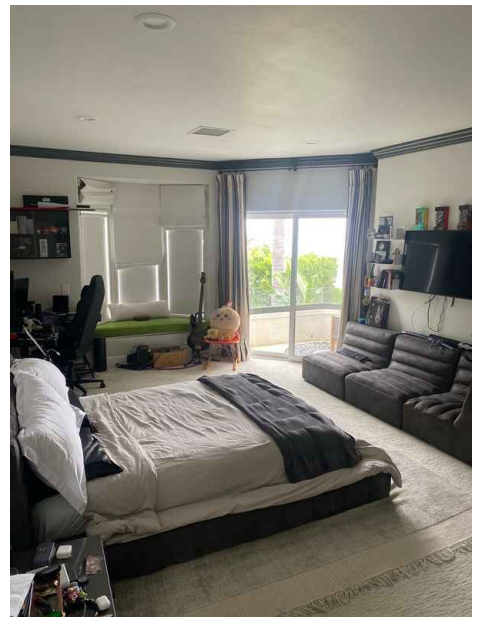
Interior: Kitchen



Interior: Bedroom #2



Interior: Bedroom #3



Interior: Bedroom #4



Interior: Bedroom #5



Interior: Half Bathroom



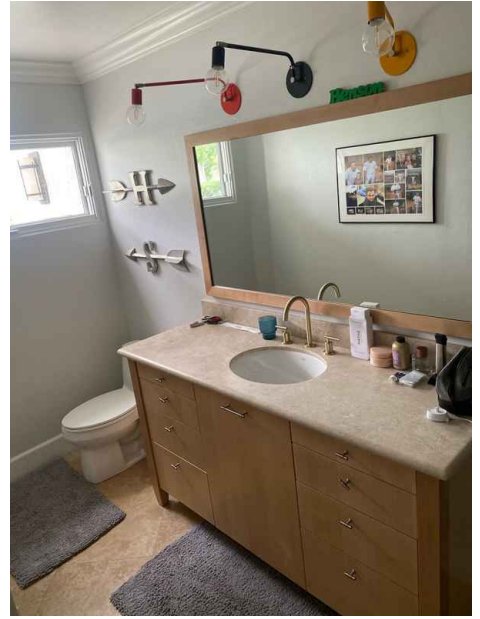
Interior: Hall Bathroom #2



Interior: Bedroom Bathroom #2



Interior: Bedroom Bathroom #3



Interior: Bedroom Bathroom #4



Interior: Laundry Room/Area



Interior: Gym Bathroom



Interior: Game Room



Interior: Primary Bedroom



Interior: Primary Bathroom



Interior: Game Room Bathroom



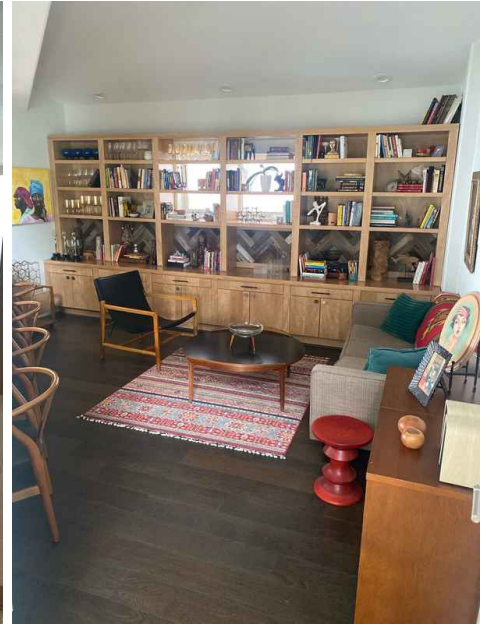
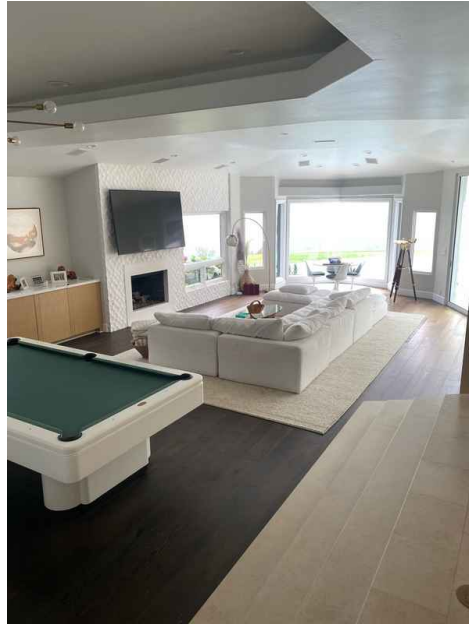
Interior: Bedroom Bathroom #5



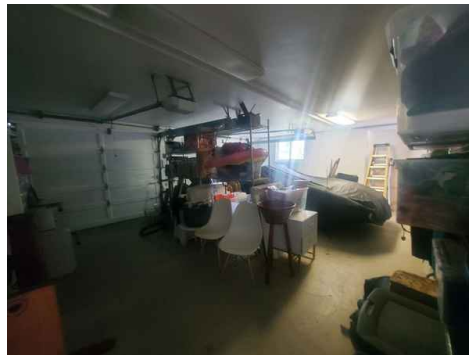
General: Complementary Photos

These photos have been provided to define areas of the home as indicated in the report. These photos have been provided as a courtesy and are not intended to identify issues/defects.

Interior: Interior Pictures



Interior: Garage



Exterior: Exterior Pictures



Exterior: Balconies

