

“CERTIFIED”
MANUFACTURED HOME INSPECTOR



Certified Building Inspector

Professional

Inspection Services

Inspection Report



CERTIFIED FIREPLACE AND
CHIMNEY INSPECTOR



Address: 165 N 5th St Shandon, CA 93461

06/01/2026

Inspector: Taylor Vreeken, CCI

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CERTIFIED BUILDING INSPECTOR / State Board Member, CALIFORNIA REAL ESTATE INSPECTION ASSOCIATION

Please take the time to review the entire report carefully and completely. If there is anything you would like us to explain, or if there are any questions you have, please feel free to call us. We would be happy to answer any questions you may have.

IMPORTANT: All repairs should be completed or supervised by a licensed contractors. Example;
All plumbing repairs should be done by a licensed plumbing contractor.
All electrical repairs should be done by a licensed electrical contractor.
All heating and/or cooling system repairs should be done by a licensed HVAC contractor.
All roof repairs should be done by a licensed roofing contractor, etc.

This inspection is performed for the client of a property to provide a general, overall report of the conditions as they existed at the time of the inspection. This report focuses on the 6 major systems, which include: **Structural Integrity, Roof, Electrical Systems, Plumbing System, Heating and Cooling Systems and the Fireplaces and Chimneys.** Cosmetic conditions are outside the scope of this inspection and may not be included or reported on as part of a home inspection.

Notice: It is important that the Client follow all recommendations as stated in this report to help prevent damage, deterioration and to help ensure a safe and healthy building. The inspector can not be held liable if all recommendations are not followed completely.

Throughout the report, you'll find special symbols at the front of certain comments. Below are the symbols and their meanings:

E&C = Evaluation and Corrections Needed: This issue is a potentially serious concern and should be addressed. Recommend further review and repair by a qualified and licensed professional.

SC = Safety Concern: Dangerous conditions exist that should be corrected immediately for safety. Recommend further review and repairs by a qualified and licensed professional.

FI = Further Investigation is Needed: Client should have an appropriate licensed specialist investigate further until satisfied as to the cause, current conditions, potential future issues and correct as needed.

MR = Maintenance Recommended or Needed: Contact a qualified professional to service this system or component to help prevent future issues and ensure proper working order.

SU = Safety Upgrades: Safety upgrades are recommended, but may not necessarily be required. Contact a qualified professional for additional information.

UPG = Upgrade: Upgrades are recommended or needed by a qualified professional to help improve and maintain the overall performance and/or integrity of the system or component.

DS = Disclosure: This item should be monitored, as future attention, repair or upgrades might be needed. Contact a specialist for additional information and recommendations.

Be advised that, if the building was furnished at the time of the inspection, many areas were not visible or accessible. Therefore, the conditions in these areas could not be determined fully and warrant additional review once the building is vacant. Be aware that some defects, such as water intrusion or leaks that do not visibly show themselves at the time of this inspection, cannot be detected and may only arise after a building has been occupied for a time. A full re-inspection by us is warranted once the building is vacant.

Comments made within this report that are outside the scope of a standard inspection or the CREIA standards are informational only and at the discretion of the inspector. These comments do not in anyway constitute a full or complete inspection or evaluation of that specific system or component.

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General Information

NOTICE: This report contains technical information. If you were not present during the inspection, please contact this office to arrange for a phone consultation with your inspector. If you choose not to consult the inspector, this inspection company and inspector cannot be held liable for your misinterpretation or misunderstanding of this report's contents.

It is the responsibility of the client to check with local building departments for permit information during all real estate transactions.

NOTE: All warranties and liability protection for the client from this inspection applies only to the parties written on the signed contract and is not transferable to any third party without a new signed contract. If you acquired this inspection and are not the contracted party you are required to contact Professional Inspection Services to request for a reduced fee a new contract or forfeit any future liability claims.

IMPORTANT NOTIFICATION (Clients responsibility): Be aware that any defect comment within this report may only identify a portion of a overall condition. **Example:** A crack or movement in the foundation noted on the South side of the home, or a defective outlet found in the dining area. It is the responsibility of the client to have the appropriate licensed professional to review the entire system, and not only the specific noted defect. Such as per our example, the engineer or contractor shall review the entire foundation systems not only the specific area noted in the report to ensure that additional movement or settling is not occurring in other areas which are not directly identified in the report. Also per the example, the electrical contractor shall review all electrical outlets not just the defective outlet noted in the report to determine if additional defects in the electrical system needs repairing. Additional defects may be discovered during the additional review of the entire system by the appropriate licensed professional.

Hidden Defects: A latent, hidden or concealed defect is one which could not be readily discovered by reasonable, customary and non-invasive visual observation during the inspection. These defects might have been painted over, inside walls, buried under insulation, covered or blocked with furniture and other belongings, or tucked away in hard-to-reach spaces with limited access which require dismantling or the use of special equipment or tools or in areas that the home inspector dreamed unsafe to enter. Defects that are discovered which have been concealed, hidden, or covered up by home owners, etc., are outside the scope of this inspection. Considering home inspections are only visual and non-invasive in scope, the inspector is not required to use x-ray vision or ESP to find hidden or concealed defects and is not responsible or liable if discovered after the close of escrow during remodels, during different weather patterns which were not encountered during the inspection or when the occupant's belongings or flooring have been removed, even if they appear days, months or even years after the move in. If the home is occupied during the inspection, the client shall have the inspector revisit the property, for an additional fee, to inspect areas of the property which were not visible or accessible at the time of the original inspection due to occupant's belongings once the home is vacant and prior to the close of escrow. Failure to do so will void any inspector liability for discovered defects which fall within the standards in areas that were blocked during the original inspection by the occupant's belongings.

WEATHER CONDITIONS

- 1: Approx. Temperature: 89°F
- 2: Dry today but rained recently.

FOR THE PURPOSES OF THIS INSPECTION, THE BUILDING FACES

- 3: East

INSPECTION DATE
Monday, June 1, 2026

START TIME
12:30 pm

FINISH TIME ON-SITE
3:00 pm

INSPECTOR
5: Taylor Vreeken, CCI, CMI

PROPERTY TYPE

6: Single Family Residence

INSPECTION TYPE

7: **Pre-Sale Listing Inspection**: This inspection is performed on behalf of the seller to provide a general overview of the property conditions as they existed at the time of inspection. The report focuses on the six primary systems: **Structural Integrity, Roofing, Electrical, Plumbing, Heating and Cooling, and the Fireplaces and Chimneys.** *Cosmetic conditions and non-permanent appliances are excluded.*

This report is informational only and does not reflect any repairs, upgrades made or conditions that have changed after the inspection date.

Buyer's Responsibility: *Any prospective buyer relying on this report is required to contact Professional Inspection Services, complete a report review, and execute a new inspection agreement, including payment of applicable fees. Any prospective buyer who relies on this report without complying with the required procedures does so knowingly, willingly, and thereby waives and forfeits any and all future claims. Failure to comply constitutes a complete and unconditional release of Professional Inspection Services and its inspectors from any and all liability, without exception.*

YEAR/ OCCUPANCY STATUS

8: Approx. Year Built: 1993

9: Occupied.

PRESENT DURING THE INSPECTION

10: Seller

ADDITIONS

DS 11: ADDITIONS or UPGRADES SUSPECTED:

Some upgrades or additions were observed or suspected that may have required building permits. No determination is made regarding permit status. The client is advised to contact the local building department to verify whether proper permits and final approvals were obtained.

THE FOLLOWING ITEMS ARE OUTSIDE THE SCOPE OF THIS INSPECTION:

DS 12: OUTSIDE THE SCOPE OF THIS INSPECTION:

Items listed below are outside the scope of this inspection and were not evaluated or inspected per standards. Client is advised to have these areas or components reviewed, inspected and tested by an appropriate and qualified trade professional familiar with applicable standards.

13: Solar Electric System

Disclosure: It is recommended to for the client meet on-site with the solar provider to learn fully about the system and its components, any maintenance requirements, and who to contact or what to do if a problem arises. (Areas of the roof below panels are not visible/ not inspected)

14: Sheds

Grounds

DRIVEWAY TYPE

15: Concrete Driveway

16: Gravel

DRIVEWAY COMMENTS

17: Driveway appears serviceable.

UPG 18: Some common and moderate cracks found in areas of the driveway. Client should investigate further the cause and correct.

SU 19: Areas of the driveway are uneven with potential trip hazards. Upgrades recommended.

SIDEWALK / WALKWAY TYPE

20: Concrete Walkways

21: Gravel Walkways

SIDEWALK / WALKWAY COMMENTS

22: Walkways appear serviceable

UPG 23: Some common and moderate cracks found at areas of the concrete walkways. Client should investigate further the cause and correct.

SU 24: Areas of the walkways are uneven with potential trip hazards.

PATIO TYPE

25: Concrete Patios

PATIO COMMENTS

26: Patios appears serviceable.

27: Typical and common cracks found.

PATIO / PORCH COVERS

28: FRONT PORCH COVER: Appears serviceable and in good condition.

Exterior

Any comments as to water intrusion are not intended to be technically exhaustive per CREIA standards. If some water intrusion is evident it is recommended to have all areas of potential water intrusion evaluated by a qualified water intrusion specialist. This is a visual, non-destructive inspection.

Disclosure: Wall insulation type & value not determined. Conditions inside walls cannot be judged.

STRUCTURE TYPE

29: Wood Framed

EXTERIOR WALL COVERINGS

30: Wood Siding

EXTERIOR WALL COMMENTS

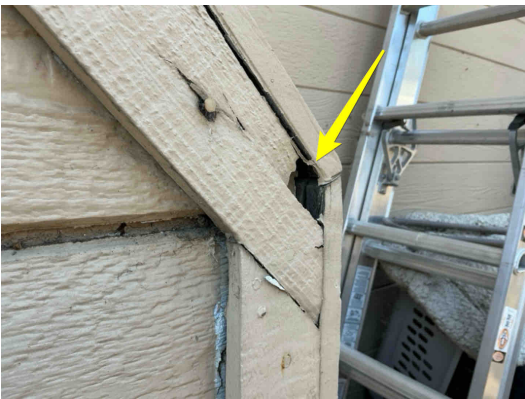
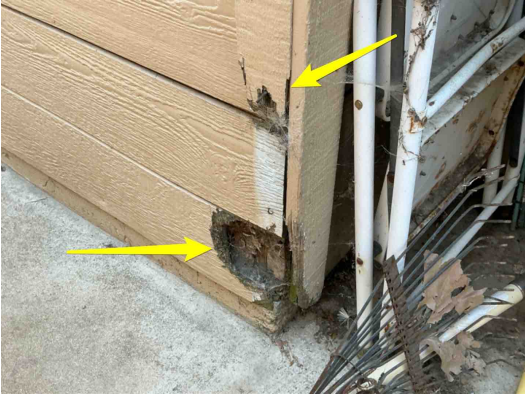
31: Exterior walls appear in good condition

DS 32: Disclosure: *Wall insulation type & value not determined. Conditions inside walls cannot be judged.*

MR 33: Areas of the exterior are not fully visible and not inspectable due to overgrown foliage and occupant's belongings. Conditions are behind the blockage are unknown. Client is advised to have the obstructions moved to have the areas reinspected.

EXTERIOR GENERAL

E&C 34: Some moisture and/or bug-type damage and deterioration found at areas of the exterior wood siding and/or trim. Refer to the termite report for additional comments, recommendations, locations and extent.



MR 35: Deteriorated paint at areas of the exterior.

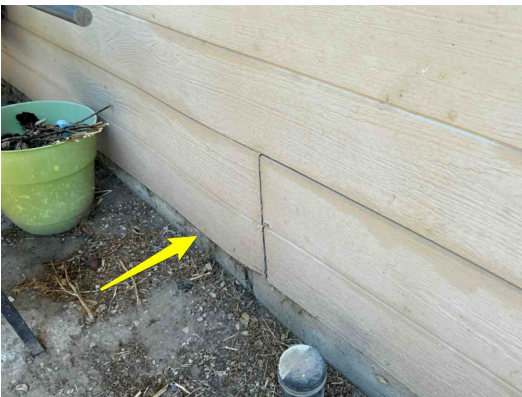


SU 36: Disclosure: Evidence of bees or wasps at areas of the exterior. Contact a qualified pest control company to evaluate and make recommendations if concerned.



E&C FI 37: Several exterior fasteners found rusted and deteriorated.

E&C 38: Multiple areas of the exterior siding found warped/ cupped. Cause and current condition behind warped siding is unknown.

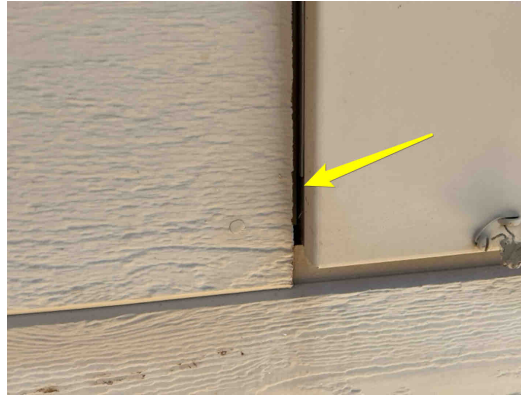
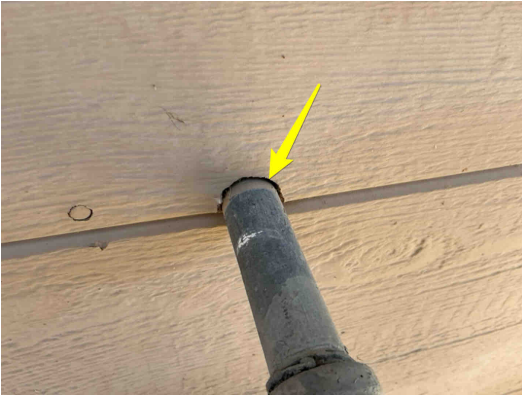


E&C MR 39: Multiple loose, unsealed, and/or damaged fasteners noted throughout the exterior. Further evaluation in corrections/ maintenance recommended.



SEALING EXTERIOR

MR 40: Recommend sealing holes in exterior walls to prevent water intrusion around areas such as unused open holes in the exterior siding and trim, exterior light fixtures, around exterior electrical boxes and covers, and where utility pipes and/or wires pass through the exterior walls. Have a qualified painter or licensed professional evaluate the entire exterior and seal where needed.



MR 41: Recommend sealing the open joints, gaps, and separations at the exterior siding. Unsealed openings may allow moisture intrusion behind the siding and potential ultraviolet / sun damage of the underlying weather-resistive barrier (tar paper/underlayment).



EXTERIOR TRIM

42: TRIM TYPE: Wood

43: Appears serviceable. *Refer to the Termite Report for additional comments and recommendations.*

MR 44: Caulking is needed at all exterior trim areas such as doors, windows, fascia, etc.

E&C FI 45: Some loose, damaged or missing trim noted at some areas of the exterior. Contact an appropriate professional to correct all areas of the exterior as needed.



Grading

Geological conditions and site stability are outside the scope of this inspection. For further information contact a licensed civil engineer. Off-site water (i.e. street water, water from a neighboring property, or sub-surface water) influences onto this property are outside the scope of this inspection and are not addressed. If concerned, have evaluated by a licensed geotechnical engineer.

SITE SLOPE

46: Level to Minor Slope

Determination of site stability, soil erosion potential, and water runoff from surrounding slopes, streets, and adjacent properties is outside the scope of this inspection and is not evaluated.

COMMENTS

MR UPG 47: Evidence of ponding water was observed in areas of the property at and/or near the home. Recommend improving site drainage and landscape grading as needed to help direct water away from the structure and off the property.

MR 48: Areas of insufficient slope of the soil away from the building along some areas of the perimeter foundation. A proper slope of the soil, patios and walkways should allow for water to flow freely away from the building, not allow water to flow against areas the foundation edges and water should not allow for ponding of water in areas near or at the foundation as this can cause erosion and/or settling of the foundation system.

MR 49: Plants touch the buildings exterior. Proper landscape maintenance needed.

Foundation

Notice: No engineering of the foundation or any structural component is performed. Areas of the perimeter foundation are not visible. Some typical and common cracks noted in the perimeter foundation. Client is advised to monitor cracks to help determine if future movement or conditions occur.

FOUNDATION TYPE

50: Concrete Slab

Disclosure: *The concrete slab is not visible due to furnishings and/or floor coverings. Cracks and conditions of the concrete under the flooring are not visible nor determined. Settling, cracking, moisture intrusion from under the slab and flooring or other defects cannot be determined and are outside the scope of this inspection.*

DS 51: Some typical and common cracks noted at the visible areas of the concrete perimeter foundation. However, the perimeter foundation is not fully visible. Client is advised to monitor cracks to help determine if future movement or other conditions occur over time.

FI 52: Concrete Slab: Some unusual sloping noted at areas of the concrete floor. Recommend additional review by qualified and licensed engineer to evaluate cause, conditions and potential future issues.

Roof

This inspection of the roof covering and components such as flashings and skylights is not intended to be technically exhaustive per CREIA standards. Meaning that if defects are found it is recommended to have the entire roof completely re-evaluated by a licensed roof contractor familiar with the current minimum installation requirements. Be aware that additional defects may be discovered during a more comprehensive evaluation by the licensed roofing professional. There should be no more than 2 layers of roofing on a building per standards.

ROOF -1

ROOF STYLE

53: Gable- EAST SIDE





54: Roof was walked

55: Number of Visible Layers of Roofing: 1

ROOF MATERIAL TYPE

56: Asphalt Shingle

Average life expectancy of this roof material: 25-30 years

There is Approx. 1-3 +/- years of visible wear at areas of the roof.

ASPHALT COMPOSITION SHINGLE COMMENTS

57: ROOF CONDITION: The Asphalt Composition roof material appears to be within its useful life and in good condition for its age.

However, this is not a warranty or guarantee that the roof does not leaks or other future conditions might exist. This is only a physical inspection of the visible areas of the roof system.

DS 58: Disclosure: Exposed fasteners noted at areas of the roof and/ or roof flashings.



ROOF -2

ROOF STYLE

59: Gable -WEST SIDE



60: Roof was walked

61: Number of Visible Layers of Roofing: 1

ROOF MATERIAL TYPE

62: Asphalt Shingle

Average life expectancy of this roof material: 20 years

There is Approx. 33 +/- years of visible wear at areas of the roof.

ASPHALT COMPOSITION SHINGLE COMMENTS

E&C DS 63: **ROOF CONDITION:** The WEST SIDE Roof is at the end of its life expectancy. Recommend contacting a licensed roofing contractor for a price / proposal for replacement.



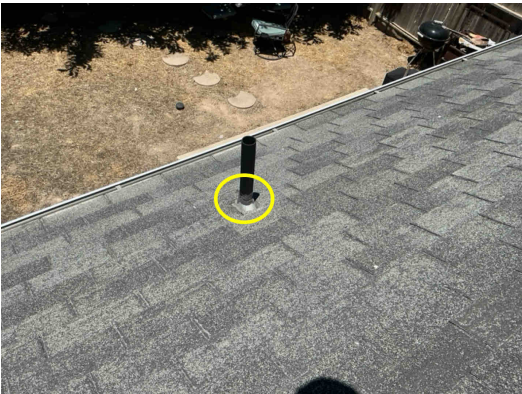
Flashings

Roof flashings, transitions, and skylights are not water tested for leakage. This is a visual inspection of the roof and its components per CREIA standards. All roofs require continuous and ongoing maintenance. Recommend having the roof serviced regularly by a qualified professional. Contact a licensed roofing professional for recommendations.

ROOF FLASHING

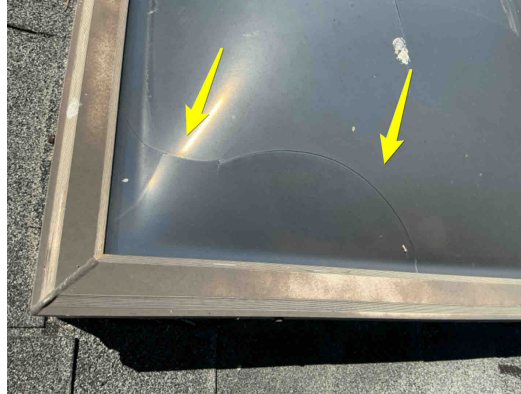
E&C MR 64: ROOF FLASHING CONDITION: Some roof flashing were found to be needing maintenance, servicing and/or repair. Contact a qualified roofing professional to review all roof flashings and provide maintenance and/or repairs as needed.

MR 65: Deteriorated sealant at some roof flashings, around the roof penetrations. Maintenance recommended to help prevent water intrusion into areas of the attic. Have roofer evaluate the roof flashings and correct as needed.



SKYLIGHTS

E&C 66: Some of the plastic roof skylights are cracked and damaged. Replacement is recommended. Contact a qualified roofer to evaluate and replace damaged skylights.



Attic

Areas of the attic framing, drywall, electrical, plumbing, etc., are not fully visible or accessible due to the attic insulation and the areas of the attic that are too small for safe access. Refer to the Termite Report for additional comments and recommendations.

ATTIC ACCESS LOCATION

67: [ATTIC ACCESS LOCATION](#): Bedroom Hallway

Gutters

RAIN GUTTERS

68: Type: Full rain gutter installation.

Attic

Areas of the attic framing, drywall, electrical, plumbing, etc., are not fully visible or accessible due to the attic insulation and the areas of the attic that are too small for safe access. Refer to the Termite Report for additional comments and recommendations.

ATTIC ACCESS LOCATION

69: [VISIBLE ATTIC FRAMING](#): No noted framing defects found in the accessible and visible areas of the attic.

Gutters

RAIN GUTTERS

MR 70: Installed rain gutters / roof drainage systems appear to be in a serviceable condition.

All roof rain gutters will need continuous and ongoing annual maintenance to help prevent gutter leaks. General maintenance should consist of; cleaning, re-fastening loose gutters and downspouts, etc.

Attic

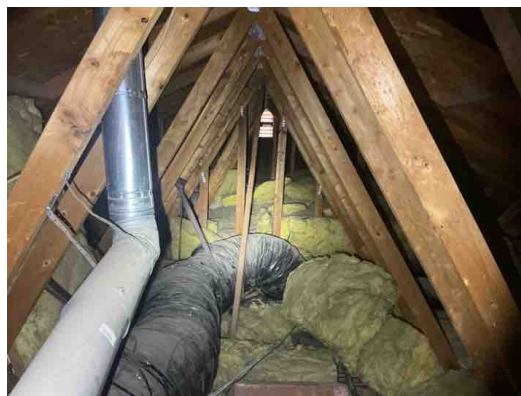
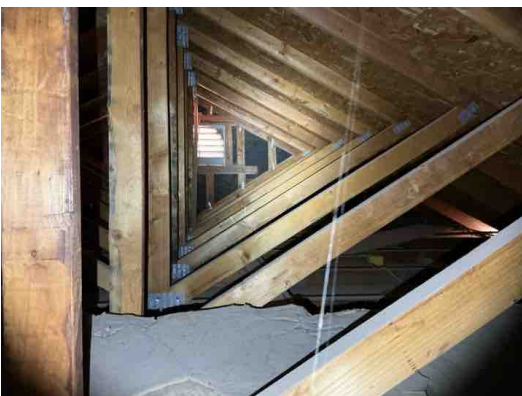
Areas of the attic framing, drywall, electrical, plumbing, etc., are not fully visible or accessible due to the attic insulation and the areas of the attic that are too small for safe access. Refer to the Termite Report for additional comments and recommendations.

ATTIC ACCESS LOCATION

71: ATTIC VENTILATION: Appears Adequate. *However, attic ventilation was not calculated but visually observed.*

DS 72: Disclosure: Areas of the attic are not fully visible, not accessible and not inspected due to insulation, ducting, HVAC unit and some areas are too small for physical access.

73: Attic Photographs





TYPE OF INSULATION FOUND IN THE ATTIC

74: **Fiberglass Batts**: Approx. Depth 8 +/- Inches

Gutters

RAIN GUTTER COMMENTS

MR 75: Recommend some typical rain gutter maintenance. This should at minimum consist of cleaning, sealing, and re-fascinating of loose gutters and downspouts.



Attic

Areas of the attic framing, drywall, electrical, plumbing, etc., are not fully visible or accessible due to the attic insulation and the areas of the attic that are too small for safe access. Refer to the Termite Report for additional

comments and recommendations.

TYPE OF INSULATION FOUND IN THE ATTIC

E&C 76: Missing insulation in the areas attic. Some of the attic Insulation in has been moved, displaced or was not originally installed for reasons unknown.



ATTIC COMMENTS

FI DS 77: Some typical and minor moisture stains noted in areas throughout the attic. All water stains should be investigated by a licensed roofer. Refer to termite report for additional comments and/or recommendations.

E&C MR 78: Some damaged or missing attic eave vent screens on areas of the exterior at the roof overhangs. Repair or replacement of the damaged or missing vent screens is recommended to help prevent critter intrusion into attic areas.



Plumbing

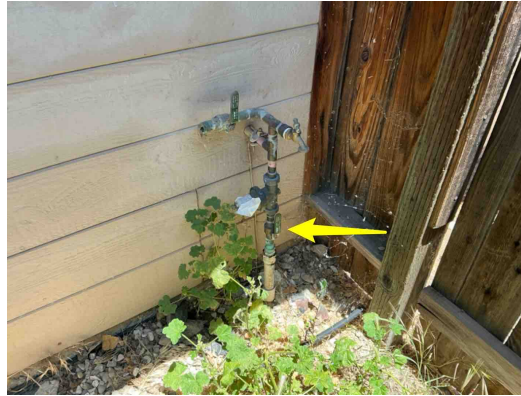
This inspection of the water supply system, waste system and its fixtures and components is not intended to be technically exhaustive per CREIA standards, meaning that if a specific system or component is found to have a single defect it is recommended to have the entire system and its components evaluated by a qualified plumbing professional. Be aware that additional defects may be discovered during a more specific or directed evaluation by a licensed plumbing contractor.

MAIN WATER SUPPLY

79: Main water supply shut-off location : EXTERIOR - ON THE SIDE OF THE GARAGE . *Main water shut-off valve not tested.*

Water Pressure - *Is At Approx. 72 +/- PSI. Optimal water pressure is between 40 and 80 PSI.*

1. *Pressure Regulator Installed:* **YES**
2. *An Automatic Leak Detection Device installed on the main water supply:* **NO.**



TYPE OF WATER PIPING

80: Type(s) of water supply piping that could be seen at the time of the inspection (other plumbing materials may be present but were not discovered at this time):

81: Copper

82: PEX Plastic

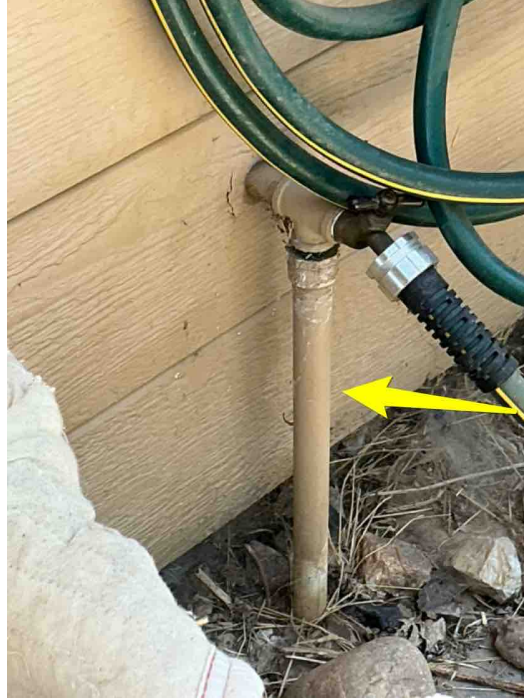
WATER SUPPLY PIPING

83: The visible areas of the water supply piping appears to be within useful life. *Pipes are not fully visible.*

84: *The condition of the Plumbing Pipe inside walls, under insulation in the attic, underground, under the slab, and in all inaccessible areas which are not readily visible are not evaluated or inspected. Conditions cannot be judged. Water pipe leak detection or pressure testing is not performed.*

UPG DS 85: Disclosure: *The White Plastic PVC pipe used above ground for faucet, sprinkler or supply piping is fragile, not UV rated, and can break easily. Upgrades are recommended to help prevent future damage or water leakage.*

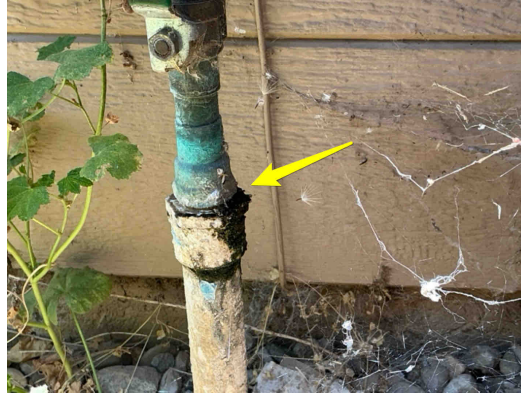
MR UPG 86: Exposed exterior water supply pipes subject to freezing are not insulated, not insulated well or have damaged or deteriorated insulation installed. Upgrades are recommended.



E&C 87: Some exposed plumbing pipes above the insulation, subject to freezing are not insulated in areas in the attic as required by standards. Upgrades and/or repairs recommended to help prevent freezing or breaking of pipes.



E&C 88: A small active water leak found at the SOUTH EXTERIOR OFF THE WATER MAIN SHUT OFF.
Corrections recommended.



WATER SOFTENER/FILTER

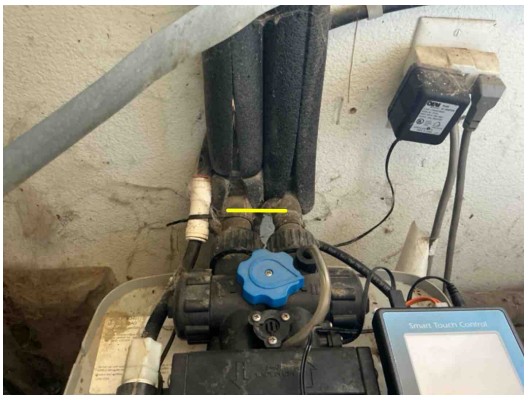
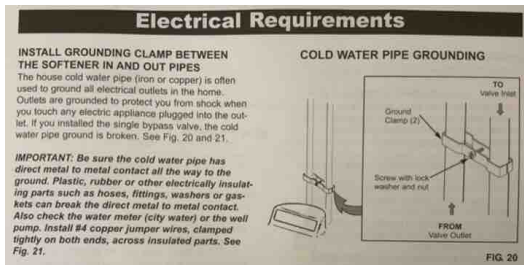
MR DS 89: Water softener installed in the Garage
Water quality not tested. Water softeners require continuous and ongoing maintenance. Please read owner's manual for recommendations. Water softener not tested for operation.



MR 90: Recommend servicing water softener. Water softener found low on salt and dirty.



SC 91: Missing a proper bond jumper (ground connection) across the water softener pipes due to the plastic water valve assembly.



WASTE PIPING TYPE

92: Type(s) of waste water drain piping that could be seen at the time of the inspection (other piping materials may be present or used underground which are not visible at this time):

93: ABS and PVC

WASTE/SEWER PIPE CONDITION

94: The visible areas of the waste piping used for this building are within its useful life expectancy.

However, waste pipes are not fully visible. Pipe conditions inside walls, inaccessible areas, under the insulation and under the ground or slab cannot be judged or determined. Water testing not performed.

Note: Buildings should have the underground waste and sewer lines scoped by a plumber to determine condition as part of the inspection process.

MR UPG 95: Exposed plastic sewer piping extending through the roof found not painted/not UV protected. Maintenance / painting Recommended.

312.13 Exposed ABS Piping

ABS piping shall not be exposed to direct sunlight.

Exception: ABS piping exposed to sunlight that is protected by water based synthetic latex paints.

312.14 Exposed PVC Piping

PVC piping shall not be exposed to direct sunlight.

Exceptions:

- (1) PVC piping exposed to sunlight that is protected by water based synthetic latex paints.
- (2) PVC piping wrapped with not less than 0.04 inch (1.02 mm) thick tape or otherwise protected from UV degradation.

California Plumbing Code 2016



Fuels

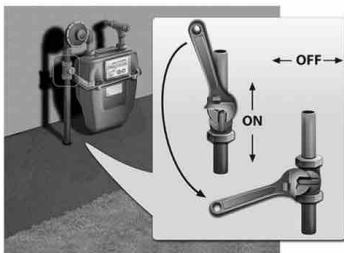
FUEL TYPE

96: Gas shut-off appears serviceable.

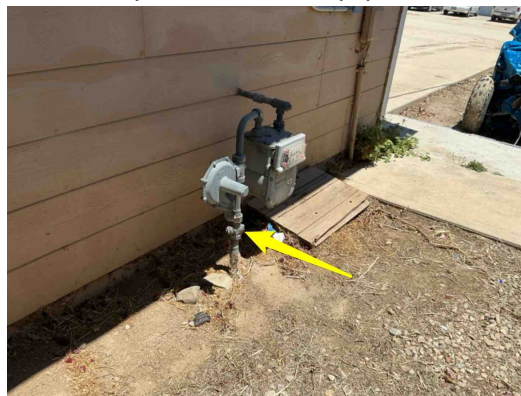
Disclosure: Gas piping and valves not tested during this inspection (visual inspection only).

97: Natural Gas. **Location of main Gas shut-off :** EXTERIOR - ON THE SIDE OF THE GARAGE

Client is advised to have All fuel-burning appliances (such as furnaces, water heaters, boilers, fireplaces, and gas dryers, etc.) inspected and serviced at least once per year by a qualified technician or the local gas utility provider. Regular inspection helps ensure proper combustion, safe venting, and detection of potential gas leaks or carbon monoxide hazards, and helps maintain safe and efficient operation of the equipment.



CAUTION: If you turn off your natural gas at the meter, leave it off. Do not turn it back on yourself.



Water Heater

The average life of a tank type water heater is 6-10 years. Water heaters may begin to leak or quit working without warning. Client should visually inspect the water heater regularly to help ensure good condition and that the water

heater is free from leakage or corrosion.

Determining size and gpm/ adequate hot water volume is beyond the scope of a home inspection.

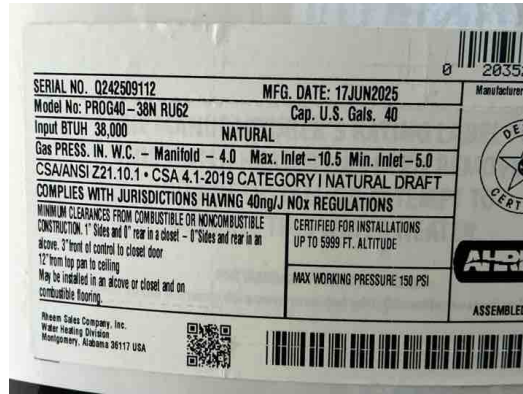
WATER HEATER INFORMATION

98: Water Heater Location: GARAGE

Date: 2025

Size: 40 Gallons

Fuel Type: Natural Gas



WATER HEATER CONDITION

99: Water Heater Operated when tested.

COMBUSTION AIR

100: Proper amount of combustion air.

STRAPPING

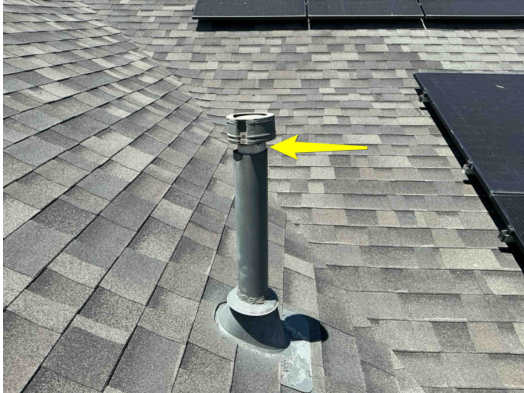
101: **WATER HEATER STRAPPING:** The Water Heater is strapped and braced satisfactorily to prevent movement.

TPR PIPING

102: The visible areas of the Water Heater TPR (Temperature Pressure Relief) pipe and valve appear serviceable in good condition. *TPR Valve not tested.*

VENT PIPING

E&C 103: The water heater "B" vent double-wall type pipe found to have a damaged and disconnected interior sleeve. Contact a qualified plumbing professional to replace the damaged section of water heater and pipe for safety.

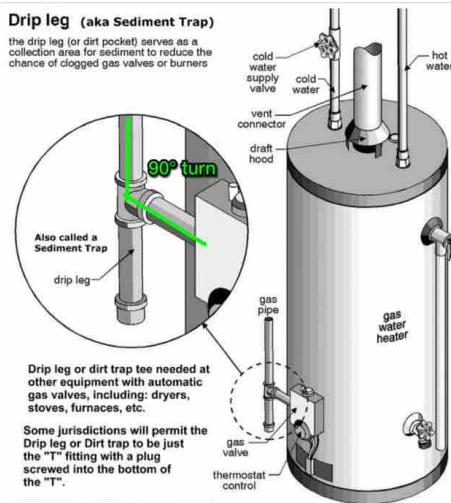


SC 104: Water heater vent connector pipe (single wall) is not properly fastened with the required 3-fasteners at the draft hood per standards.

GAS PIPING

105: The water heater gas piping appears within useful life with no physical damage.

SU 106: Recommend the installation of the missing sediment trap / drip leg at the WATER HEATER gas piping at flex connection by a certified or licensed plumbing professional familiar with minimum requirements. [CPC 1212.8]



WATER HEATER GENERAL COMMENTS

UPG 107: Missing the insulation on areas of the Hot and Cold water supply piping at the water heater.

Energy Code (Title 24, Part 6)

California's energy standards require insulation on the first 5 feet of cold and ALL the hot water piping from the water heater, to reduce heat loss and sweating (condensation).

Kitchen

LOCATION



SINK

109: The kitchen sink appears serviceable with typical wear for its age.

110: Plumbing under the kitchen sink appears to be installed correctly and is functioning.

DS 111: Disclosure: *Restricted view below kitchen sink (areas not fully visible). Do a secondary check carefully once kitchen cabinets are empty.*

FI 112: Some dry moisture stains and damage in the cabinetry below the kitchen sink.

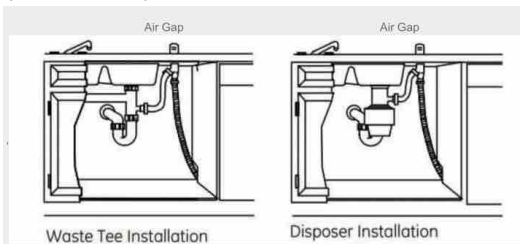
DISHWASHER

113: Dishwasher operated when tested.

Disclosure: *Unable to determine if dishwasher is leaking in areas not visible.*

114: Doors, seals and racks appears serviceable.

SU 115: Improper installation of the dishwasher drain hose. Missing the Air Gap Device at the dishwasher drain per minimum codes and standards (California does not allow for high-loop methods or direct waste connections). {CPC 801.2}



CABINETS & COUNTERS

116: Appear serviceable.

DS 117: Disclosure: The areas behind the kitchen cabinetry, refrigerator, dishwasher and range or ovens are not accessible, not visible and not inspected.

DS 118: Kitchen counters & cabinets have typical wear.

DS 119: Disclosure: *Kitchen counters and cabinets are not fully visible due to occupant's belongings. Do a careful check during final walkthrough and areas are evacuated and cleaned. If defects are discovered contact our office to evaluate and document condition.*

DISPOSAL

120: Operated when tested.

COOKTOP HOOD

121: Kitchen cooktop hood and exhaust fan operated when tested.

MR SU 122: Kitchen cook top exhaust hood and filter are dirty.



COOKTOP

123: The cooktop is Natural Gas and operated when tested

OVEN

124: The GAS OVEN operated when tested

Disclosure: *The testing of the oven thermostat for temperature accuracy is outside the scope of this inspection.*

KITCHEN SPECIAL FEATURES

125: Microwave operated when tested.

Laundry

LAUNDRY:

126: LAUNDRY



LAUNDRY TYPE

127: Gas and Electric 240 volt provided for laundry dryer.

DS 128: Disclosure: The drain pipe and hot and cold water supply shut offs installed for the laundry are visually inspected but are not tested.

129: Laundry dryer vent provided.

However, vent system is not fully visible or tested. It is recommended that the laundry dryer vent system, vent pipe and cap be cleaned regularly to avoid excessive lint buildup, which is a potential fire hazard.

LAUNDRY COMMENTS

SU 130: The GAS laundry dryer installed in the garage which generates a flame during operation capable of igniting flammable vapors is improperly installed directly on the garage floor. Gas dryers are now (as of 2026) required to be at least raised off the garage floor on a platform to prevent an accidental ignition of flammable vapors, such as gasoline fumes. Currently the Gas laundry dryer is improperly installed directly on the garage floor which is considered a safety concern by the Gas Company and building standards.

131: Disclosure: *The laundry washers and/or dryers are not tested or inspected as they are considered personal property and are not a permanently installed appliance. If the laundry machines are being transferred with the sale of the property, client should perform due diligence to ensure the proper and safe operation of the washer and dryer within the clients inspection period.*

DS 132: Area behind and under the laundry machines is not fully visible and not inspected at this time due to laundry machines themselves. Conditions are not fully known. Client should inspect area and satisfy themselves as to the overall condition prior to the close of escrow once the laundry machines have been moved out.

E&C 133: Some corrosion / past leaking found at the HOT and COLD water supply valve at laundry.

DRYER VENTING

MR 134: Recommend cleaning and servicing the laundry dryer vent system, pipe and cap, for safety as part of typical ongoing maintenance.

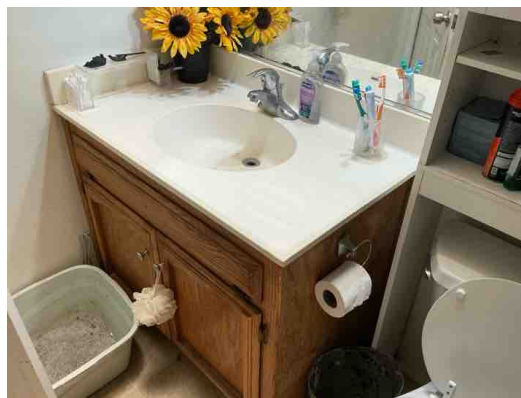
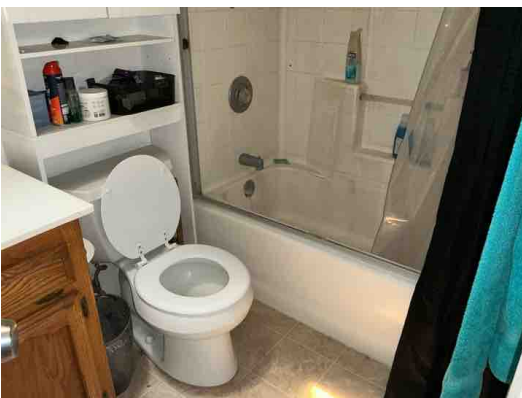
Bathrooms

BATHROOM LOCATIONS

135: PRIMARY BEDROOM BATHROOM



136: HALL BATHROOM



TOILETS

137: Operated when tested.

SINKS

138: Bathroom sink faucet and drain operated when tested.

Disclosure: *The operation and condition of the sink drain stoppers are outside the scope of this inspection and are not tested. Any and all comments made regarding sink drain stoppers are informational only and may only be specific to a single sink.*

DS 139: Disclosure: *Restricted view in the bathroom cabinets and countertop due to occupant's belongings. Check areas carefully once areas are evacuated and cleaned. If defects are found contact our office to evaluate and document condition.*

FI 140: Some corrosion found at water supply piping and waste piping connections under the bathroom sinks / evidence of past leaking.

MR 141: The bathroom sink drain stopper missing: HALLWAY BATHROOM



VENTILATION

142: Appears adequate.

E&C 143: The bathroom exhaust fan did not operate: HALLWAY BATHROOM



BATHTUBS

144: Tub faucet and drain operated when tested.

SHOWERS

145: Showers operated when tested.

Determining the water tightness and integrity of the shower pans and walls, determining conditions behind tile or enclosures at the tubs and showers is outside the scope of this inspection as areas not visible or readily accessible. Unable to verify or determining if the tile or enclosures were installed per manufacturer's installation instructions.

FI **146:** Moisture stains & damage to walls, baseboards and/or floor outside shower: PRIMARY BEDROOM BATHROOM



E&C **MR** **147:** Shower glass enclosure is actively leaking water at the PRIMARY BEDROOM BATHROOM. General maintenance and or repair recommended.

FI **DS** **148:** Evidence of a past fiberglass repair at the PRIMARY BEDROOM BATHROOM shower. Ask seller for details.

Interior

Any comments as to water intrusion is not intended to be technically exhaustive per CREIA standards, meaning that if some water intrusion is evident it is recommended to have all areas of potential water intrusion evaluated by a qualified water intrusion specialist, as this is a visual, non-destructive inspection to point out potential issues as they are apparent and visible at this time. Be aware that additional defects may be discovered during a more comprehensive evaluation.

Note: Windows or doors blocked by occupant's belongings, blinds, and/ or window-door coverings are not able to be fully inspected.

FRONT ENTRY DOOR

149: Operated when tested.

150: Door hardware operated when tested.

MR 151: Damaged weather stripping at the FRONT ENTRY DOOR.



E&C MR 152: Damaged screen found at the front entry door.



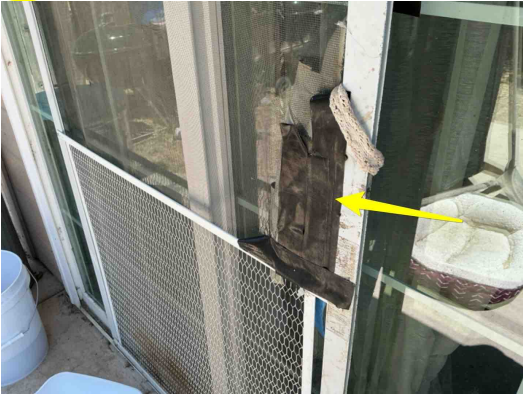
EXTERIOR DOORS

153: Operated when tested

154: Latching hardware operated and appears serviceable.

SLIDING GLASS DOOR

MR 155: Damaged screen at the DINING AREA exterior sliding glass door.



INTERIOR DOORS

156: Operated when tested.

MR 157: Interior door rubs & sticks. Adjustment or repair recommended: BEDROOM-2

E&C 158: Interior door jamb found damaged: HALLWAY BATHROOM



WINDOWS

159: Aluminum / Double-Pane glass

160: Some windows are SLIDING and some windows are SINGLE-HUNG

MR 161: WINDOWS: A sampling of the accessible windows operated when tested.

Note: *Windows with blinds or shades or other coverings are not tested. All windows should be serviced by a qualified window specialist to ensure windows operate smoothly and properly and to ensure water tightness. Have all deteriorated weatherstripping replaced. Window blinds, shades, drapes or other window coverings are not inspected and are outside the scope of this inspection. Client should provide their own due diligence and evaluate all window coverings.*

MR 162: Some windows found a little difficult to operate. Maintenance or upgrades to the windows are recommended.

MR 163: Disclosure: Missing and/or damaged screens found at some windows.

FI 164: Moisture stains and/or damage on the inside at some window sills. Refer to the termite report for additional comments and recommendations.

165: *Disclosure: Most windows are not accessible for inspection due to occupant's belongings, blinds, furniture, etc. Recommend evaluation once all areas are accessible.*

FLOORING

166: CONDITION: Flooring appears to be in good condition with typical wear for its age.

167: *Disclosure: Furnishings, rugs and occupants' belongings are examples item that prevent the full inspection of the flooring. Conditions in areas not visible are unknown. Do a careful check prior to closing.*

DS 168: Some minor and moderate deterioration and/or damage noted at areas of the interior flooring.

SU 169: A pet-type odor noted in areas of the interior.

CEILING TYPE

170: Drywall

WALL TYPE

171: Drywall

WALLS AND CEILINGS

172: The general overall physical condition of the interior walls and ceilings appear to be good with some typical and common cracks.

Note: Determining the indoor air quality is outside the scope of this inspection. All parties should perform their own due diligence until satisfied as to the air quality inside the living spaces to determine if it is within your own personal acceptable levels.

DS 173: Some typical and common cracks noted at the walls and ceilings throughout the interior. Client should monitor the cracks as future or additional movement may occur. Contact a qualified drywall professional for additional information and recommendations on how to repair.

174: *The conditions inside walls, behind occupants' belongings, behind wallpaper or paneling, under flooring and areas not visible cannot be determined and are not inspected. Do a careful check during final walkthrough. Identification, investigation or recommendations regarding MOLD and/or the presence of MOLD are outside the scope of this inspection.*

175: **Disclosure:** *Furnishings, window coverings (such as drapes shades and shutters) and/or occupant's belongings prevent full inspection of the interior, closets and cabinetry. Client is advised to do a careful visual inspection prior to closing and contact our office for an additional inspection if suspicious conditions exist.*

FI DS 176: Evidence of past ceiling and wall repairs found throughout. Client should investigate further to satisfy themselves as to the cause and current conditions.

INTERIOR CABINETRY

E&C 177: **Disclosure:** Areas of the interior wood cabinetry are serviceable with signs of typical wear and deterioration.

Heating and Cooling

Heating / Cooling System # 2

UNIT INFORMATION

178: Condenser Location: NORTHEAST EXTERIOR/ LIVING ROOM

Heating/ Cooling type: Electric Heat Pump / Mini-Split

Heating/ Cooling Size: 1 Tons

Minimum Current Ampacity: 15

Maximum Current Ampacity: 25

Currently at: 2023 Amps

Refrigerant: R410A

Date: 2023

Disclosure: Calculating or determining the size, efficiency, or adequacy of the heating system for this structure is outside the scope of this inspection.



HEATING UNIT

179: HEATING/ COOLING SYSTEM CONDITION: The heating and cooling system operated when tested with an average cooling temperature differential of 15 degrees.

THERMOSTAT/CONTROLS

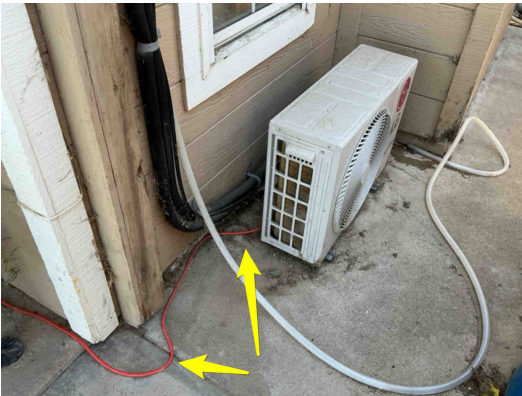
180: Operated when tested.

COMMENTS

E&C 181: Recommend sealing the hole or opening through the exterior wall where the Air Conditioner's refrigeration pipes enter the building. This will help prevent rodent, bug and /or water intrusion through this area as need per standards.



E&C FI 182: Permanently installed HVAC equipment is generally required to be installed in accordance with the manufacturer's installation instructions (CRC/CEC and NEC 110.3(B)). The installation does not appear consistent with typical LG manufacturer requirements for a dedicated branch circuit and approved disconnecting means for permanently installed HVAC equipment. Compliance with the manufacturer's installation instructions could not be verified. Improper power-supply methods may present safety, reliability, and servicing concerns. Recommend evaluation and correction by a licensed HVAC contractor and qualified electrical contractor.



CONDENSATE

183: Disclosure: Areas of the air conditioner's condensate drip system are not fully visible as they pass-through confined spaces, under attic insulation or other reasons. The air-conditioning condensate drip system is not tested and not inspected in areas not visible.

Heating

This inspection of the heating system and components is not intended to be technically exhaustive per CREIA standards, meaning that if a specific system or component is found to have a single defect it is recommended to have the entire system and its components evaluated by a qualified HVAC professional. Be aware that additional defects may be discovered during a more comprehensive evaluation by an appropriate professional.

GENERAL INFO

184: LOCATION: ATTIC

Approx. BTU RATING: **80,000**

FUEL TYPE: **Natural Gas**

FURNACE TYPE: **Gas Forced Air**

DATE: **2010**

Calculating or determining the size, efficiency, or adequacy of the heating system for this structure is outside the scope of this inspection.



CONDITION

185: **HEATING SYSTEM CONDITION:** The heating system operated when tested.

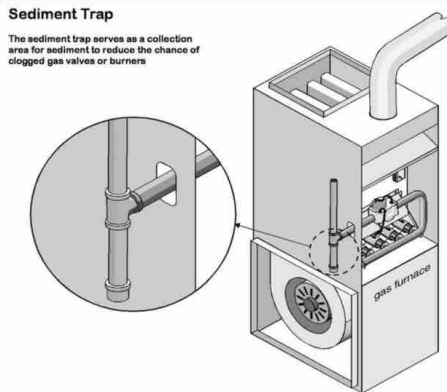
FURNACE FLAME

186: The Furnace flame appears serviceable.

Disclosure: The heater was not dismantled or tested for a crack in the heat exchanger. This is beyond the scope of a home inspection. If furnace is older you should have the heat exchanger checked by a licensed HVAC professional.

Notice: Safety switches such as thermocouples are not tested. Carbon Monoxide testing is beyond the scope of the inspection and is not performed.

UPG 187: Missing the required installation of the sediment trap at the furnace gas piping at flex connection. Correction should be performed by a certified or licensed HVAC professional familiar with minimum requirements.



VENTING

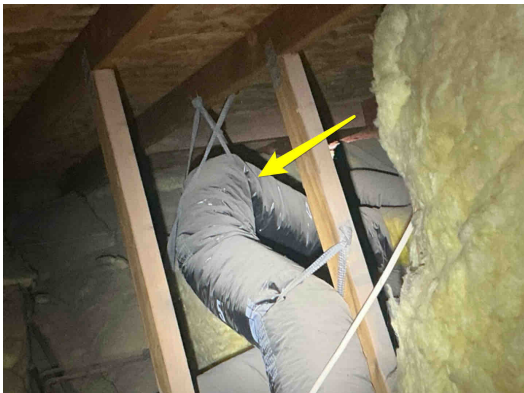
188: The visible areas of the furnace vent piping appears serviceable. However, the furnace vent pipe is not fully visible.

DUCTING/DISTRIBUTION

189: Appears serviceable at visible areas.

Disclosure: Conditions inside the ducting are not visible and are unknown. Be advised that certain dirty ducting systems have been known to have some biohazards and/or carcinogens inside the ducting. Cleaning, resealing and servicing of HVAC system and ducting is recommended every few years.

E&C 190: Areas of the heating ducting in the attic found kinked or over-bent limiting intended air flow. Corrections recommended.



AIR FILTERS

MR 191: Dirty Heating air filter found in the return air grill(s). Recommend cleaning or changing the furnace air filters as part of ongoing maintenance.

COMBUSTION AIR

192: Appears to be the appropriate amount and in the appropriate locations.

THERMOSTAT/CONTROLS

193: Operated when tested.

Cooling

AIR CONDITIONING SYSTEM OPERATION

E&C 194: AIR CONDITIONING CONDITION: The air conditioner did not function when tested. Recommend further evaluation, opinion and repairs by a qualified HVAC professional.



Electrical

We recommend that all electrical defects be reviewed and repaired completely by a licensed electrical contractor. Additional defects may be discovered during review or repairs as this inspection is a general overview of the entire electrical system and may not detail every electrical defect. GFCI and Arc Fault protected circuits are tested only at the test / reset button location and only if the circuit is not being used by occupant. No other part of the circuit was tested for GFCI or AFCI protection per standards.

Disclosure: *Wiring located inside the wall cavities, behind drywall, behind non-accessible covers and in areas not readily accessible or visible for any reason are not inspected and are outside the scope of this inspection as the hidden conditions are unknown.*

TYPE OF SERVICE AND MAIN ELECTRICAL PANEL-1

195: Electrical Service Type: **Overhead** (condition of service wires not fully visible and are unknown)

Main Electrical Panel Location: **EXTERIOR - ON THE SIDE OF THE GARAGE**

Main Electrical Panel Ampacity: **100**

Panel Voltage: **240 volt**

Branch Wire Type: Copper

Determining the capacity of the circuits in the electrical panel(s) is outside the scope of this inspection. This is only a visual inspection of the electrical panels per the CREIA standards. No load testing of the circuits was performed.



196: PANEL BONDING / GROUND: The visible portions of the panel bond, earth grounding, inside the MAIN ELECTRICAL PANEL is present and properly connected to the metal panel.
All grounding and bonding of the electrical panels and the wiring systems are not tested and are not fully visible. Only the visible areas of the ground clamp and its connections are inspected but not tested per standards.

PANEL COMMENTS

SU 197: Missing a bushing clamp as wires are passing into the metal MAIN ELECTRICAL PANEL. Wires are improperly rubbing on the sharp metal edge of the electrical panel as they pass through.



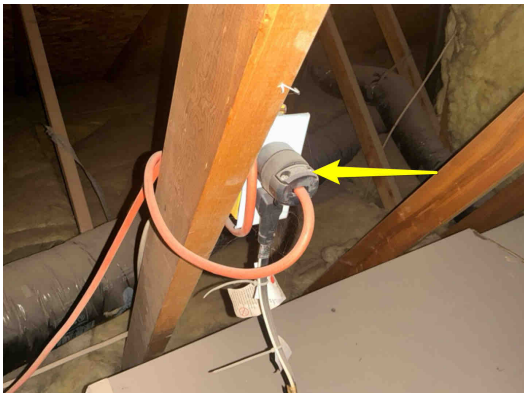
WIRING/CONDUIT

198: A sampling of the switches, light fixtures and outlets operated when tested.

Disclosure: *Occupant's belongings and furniture are not moved for testing of outlets and switched. Receptacles which are in use or are blocked by child tamper barriers are not tested. If house is occupied or any restricted conditions exist, additional testing is recommended. Additional inspection fees may apply. Astronomical clock-type lighting controls, photocells associated with exterior lighting are outside scope of this inspection and are not tested.*

DS 199: *Disclosure: Furnishings, appliances and occupants' belongings prevent testing of every outlet and switch. Have all outlets and switches tested once home is vacant.*

SC 200: Improper and unsafe "plug-in" style wiring - use of a cord and plug wiring as permanent wiring. Contact a qualified electrical contractor for upgrades/repairs: ATTIC FAN



LIGHTING

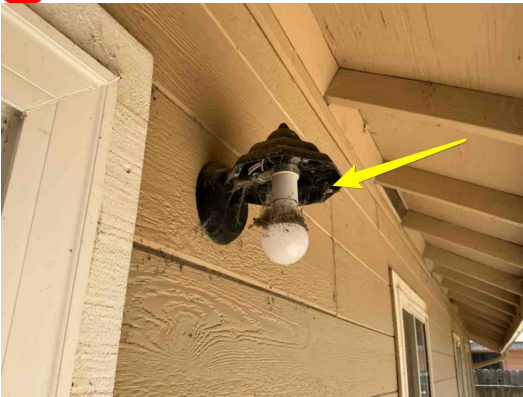
FI DS 201: *Some electrical switches do not operate anything visible, (purpose unknown).*

FI 202: *Some lights found to be non-operational (check bulbs if still found non-operational contact a qualified electrician to evaluate and repair or replace defective fixtures and/or switches).*

SC 203: A damaged light fixture found in the: GARAGE. Replacement needed.



E&C 204: Lens at light fixture is missing: EXTERIOR AT BACKYARD PATIO



GFCIS/ AFCIS

205: Disclosure: Recommend adding GFCI and AFCI circuit or outlet protection at all currently required locations, as an upgrade.

DS 206: Disclosure: GFCI breakers and/ or outlets are NOT blind tested at occupied properties.

Detectors

207: *SMOKE DETECTORS and CARBON MONOXIDE DETECTORS are installed at the required locations.*

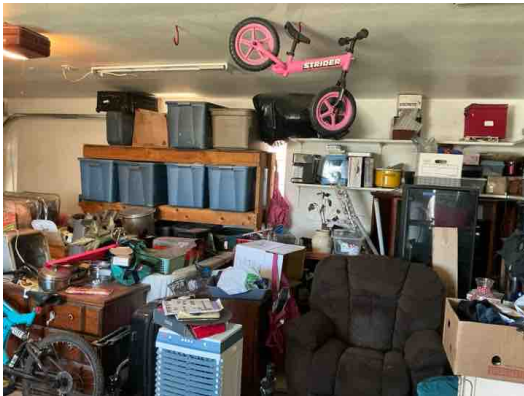
Disclosure: *This is not a warranty as to the effectiveness of the detectors, only that the detectors are installed in the appropriate locations per California law. Owner is responsible for testing detectors monthly and replace detectors every 10 years.*

Garage

The conditions inside walls, behind occupants' belongings, and areas not visible cannot be determined. Do a careful check during final walkthrough.

Determining the condition of the waterproofing on interior below grade walls is outside the scope of this inspection. Interior walls are visually inspected for stains and damage in accessible areas that are not blocked or covered by occupants' belongings.

PHOTO
208: Garage



FLOORS

209: Visible areas of the garage floor appears serviceable.

DS 210: Common cracks found in the concrete garage floor.

DS 211: Due to an excessive amount of stored items and/or cabinetry in the garage, the majority of the garage walls and/or floor, is not accessible, not visible, nor inspected. A re-inspection is recommended once access is made available.

WALLS & CEILINGS

212: Visible areas of the garage walls and ceiling appear acceptable.

If the garage is occupied, areas of the floor, walls, ceilings and attic may not be visible during original inspection due to occupant's belongings or cabinetry. If the garage is occupied during this inspection, client should have garage reinspected once garage is vacant.

DS 213: *The conditions inside walls, behind occupants' belongings, and areas not visible, cannot be determined. Do a careful check during final walkthrough.*

DS 214: Walls not fully visible due to occupants' belongings and/or cabinetry.

PEDESTRIAN DOOR

215: Operated when tested.

MR 216: Some visible daylight noted around the GARAGE exterior pedestrian door. Adding, adjustment and/or repair of the weather stripping is recommended to help prevent water and critter intrusion.

VEHICLE DOOR TYPE

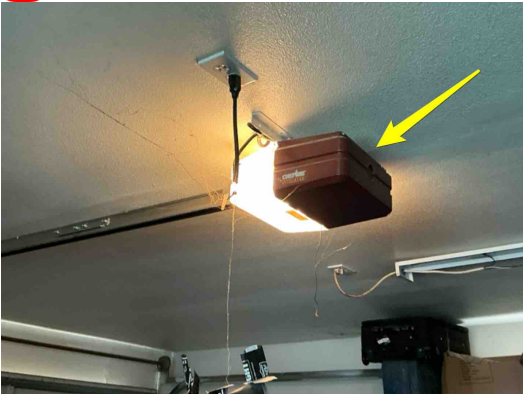
217: Roll-up

VEHICLE DOOR

DS 218: Garage vehicle door is locked, blocked, not tested & not inspected.

VEHICLE DOOR OPENER

E&C 219: The garage vehicle door auto opener did not operate properly when tested. Servicing or repair warranted.



Fireplace

FIREPLACE LOCATION

220: **LIVING ROOM**



FIREPLACE TYPE

221: Fireplace Type: **Prefabricated**

222: Fuel Type: **Wood Burning**

223: Chimney Type: **Metal Chimney Pipe**

224: This inspection of the fireplace and its components is not intended to be technically exhaustive per CREIA standards, meaning that if a specific system or component is found to have a defects it is recommended to have the entire system and its components reevaluated by a certified fireplace repair professional / chimney sweep. Be aware that additional defects may be discovered during a more comprehensive evaluation.

FIREPLACE CONDITION

225: **FIREPLACE CONDITION**: The visible areas of the LIVING ROOM fireplace appears operational and in a serviceable condition.

METAL CHIMNEY

226: The LIVING ROOM fireplace chimney.



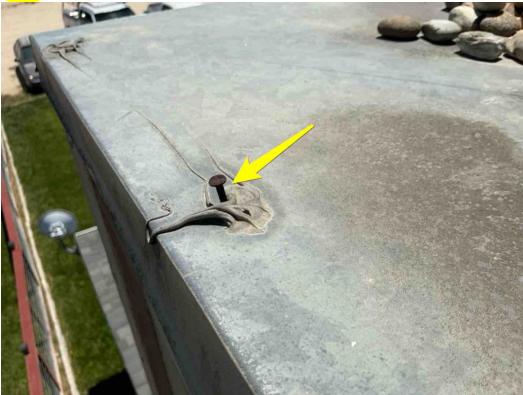
E&C 227: The spark screen found rusted, deteriorated and/or damaged atop the LIVING ROOM fireplace chimney. Recommend replacement for fire safety. Contact a qualified professional.



MR 228: Deteriorated sealant found around the storm collar at the LIVING ROOM fireplace chimney roof termination. Maintenance recommended to help prevent water intrusion into the wood framed fireplace chimney chase.



MR 229: Recommend resealing the fasteners at the metal fireplace chimney chase cap.



E&C SC 230: Improper installation of a plastic owl on the fireplace chimney chase near the cap as a bird deterrent device. The plastic owl is melted with evidence of a small past fire. Removal warranted for safety.



